

COMMUNITY SERVICES DEPARTMENT
 PARK OPERATIONS ~ COMMUNITY OUTREACH
 ENVIRONMENTAL SERVICES ~ VETERANS SERVICES ~ RECREATION/CULTURAL SERVICES

Park Advisory Board

Meeting Agenda

Wednesday, July 8, 2020 – 1:30 p.m.

Centennial Hall, 200 S. Cascade, Colorado Springs

<u>Item</u>	<u>Presenter</u>	<u>Recommended Action</u>
1. Call Meeting to Order	Chair	
2. Approval of the Agenda	Chair	Approval
3. Approval of Minutes	Chair	Approval
4. Introductions / Presentations		
5. Citizen Comments / Correspondence on items not on the agenda (limited to five minutes unless extended by Chair)	Chair	
6. Development Applications		
A. The Hills at Lorson Ranch PUDSP	Ross Williams	Endorsement
B. Cloverleaf Subdivision Preliminary Plan and Rezone	Ross Williams	Endorsement
7. Information / Action Items		
A. COVID 19 Update	Tim Wolken	Information
B. Happy Trails Fundraising Event	Todd Marts	Information

<u>Item</u>	<u>Presenter</u>	<u>Recommended Action</u>
8. Monthly Reports	Staff	Information
9. Board / Staff Comments		
10. Adjournment		

RECORD OF PROCEEDINGS

*Minutes of the June 10, 2020
El Paso County Park Advisory Board Meeting
Centennial Hall, 200 S. Cascade
Colorado Springs, Colorado*

Members Present:

Ed Hartl, Chair
Julia Sands de Melendez, Secretary
Anne Schofield (via Skype)
Jim Cassidy
Kiersten Steel
Susan Jarvis-Weber
Toby Levin

Staff Present:

Tim Wolken, Community Services Director
Ross Williams, Park Planner
Greg Stachon, Landscape Architect

Absent: Terry Martinez, Alan Rainville

The following minutes are a summary of the proceedings. A recording is available upon request at the El Paso County Parks Administration Office.

1. Call to Order: The meeting was called to order at 1:30 p.m. by Ed Hartl, Chair.
2. Approval of Agenda: **Julia Sands de Melendez made a motion to approve the meeting agenda. Jim Cassidy seconded the motion. The motion carried 7 - 0.**
3. Approval of Minutes: **Jim Cassidy made a motion to approve the May 13, 2020 meeting minutes. Julia Sands de Melendez seconded the motion. The motion carried 7 - 0.**
4. Introductions and Presentations:

Chair Ed Hartl and Tim Wolken welcomed Toby Levin as a new member of the Park Advisory Board.
5. Citizen Comments:
6. Development Applications:
 - A. **Reserve at Corral Bluffs Filing No. 5 Final Plat**

Greg Stachon presented the Reserve at Corral Bluffs Filing No. 5 Final Plat and addressed questions by the Board. Britt Hailey with the City of Colorado Springs thanked the Board and staff for adding additional language in the recommendation regarding the sensitivity of the Corral Bluffs Open Space site.

James Cassidy recommended that the Planning Commission and the Board of County Commissioners include the following conditions when considering and / or approving the Reserve at Corral Bluffs Filing No. 5 Final Plat: (1) require fees in lieu of land dedication for regional park purposes in the amount of \$3,736 which will be

required at the time of recording of the final plat (2) the El Paso County Park Advisory Board recognizes that Corral Bluffs Open Space is a highly sensitive area and strongly recommends that the developer work with the City of Colorado Springs to minimize impacts to the adjacent Corral Bluffs Open Space area. Julia Sands de Melendez seconded the motion. The motion passed 7 – 0.

B. Meadow Lake Commercial Park – Rezone

Greg Stachon presented the Meadow Lake Commercial Park – Rezone and addressed questions by the Board.

Julia Sands de Melendez recommended that the Planning Commission and the Board of County Commissioners include the following condition when considering and / or approving the Meadow Lake Commercial Park Rezone: The applicant provide a 25-foot public trail easement along the eastern boundary of the project site which will allow for the construction and maintenance by El Paso County of the Judge Orr Secondary Regional Trail, and this easement shall be shown and dedicated to El Paso County on the Rezone drawing and forthcoming Commercial Development Plan drawings. Toby Levin seconded the motion. The motion passed 7 – 0.

C. Falcon Fire Station #3 – Location Approval & Subdivision Exemption

Greg Stachon presented the Falcon Fire Station #3 – Location Approval & Subdivision Exemption and addressed questions by the Board.

Julia Sands de Melendez recommended that the Planning Commission and the Board of County Commissioners include the following condition when considering and / or approving the Falcon Fire Location Approval & Subdivision Exemption Plat: The County requests that the landowner provide a 25-foot public trail easement along the south side of parcel #5312400014 that allows for the construction and maintenance by El Paso County of a primary regional trail, and this easement shall be shown and dedicated to El Paso County on the Final Plat. Kiersten Steel seconded the motion. The motion passed 7 – 0.

D. Grandview Reserve Sketch Plan

Ross Williams presented the Grandview Reserve Sketch Plan. He also addressed question by the Board.

Julia Sands de Melendez recommended that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Grandview Reserve Sketch Plan: (1) work with El Paso County Parks staff to develop safe designs for the Rock Island Regional Trail crossing at the proposed Rex Road intersection near East Highway 24, as well as for the Eastonville Regional Trail at the proposed intersection of Eastonville Road and Rex Road; (2) designate and provide to El Paso County a 25-foot trail easement along Eastonville Road, that allows for public access, as well as construction and maintenance by El Paso County of the Eastonville Primary Regional Trail; (3) the trail easement shall be shown on all forthcoming preliminary plans and final plat(s), and the

aforementioned easement shall be dedicated to El Paso County on the forthcoming final plat(s); (4) fees in lieu of land dedication for regional and urban park purposes will be calculated upon review of forthcoming preliminary plans and final plats, and will be required at time of the recording of the forthcoming final plats. A park lands agreement may be an acceptable alternative to urban park fees provided the agreement is approved by the County and executed prior to recording the forthcoming final plat(s). Jim Cassidy seconded the motion. The motion passed 7 – 0.

E. Prairie Ridge Final Plat

Ross Williams presented the Prairie Ridge Final Plat.

Jim Cassidy recommended that the Planning Commission and the Board of County Commissioners include the following condition when considering and/or approving the Prairie Ridge Final Plat: require fees in lieu of land dedication for regional park purposes in the amount of \$3,269. Toby Levin seconded the motion. The motion passed 7 – 0.

7. Information / Action Items:

A. Pineries Open Space Grand Opening

Ross Williams announced the Grand Opening of the Pineries Open Space is Saturday, June 27 at 10:00 a.m. He also highlighted the unique attributes of the 1,070-acre property, the wildlife and the history of the property. A new property map has also been created that can be viewed on the County Parks website.

B. COVID – 19 Updates

Tim Wolken provided an overview of the most current Public Health Order. The Order continued to limit public gatherings to 10 individuals and provides additional guidance on summer camps, team sports and outdoor recreation. The El Paso County Fair will now transition to a “4-H Show” and will allow only 4-H participants and their families. The Nature Centers have initiated summer camps under State guidelines. Commissioner Stan VanderWerf updated the Board on the variance recently submitted to the State of Colorado.

8. Monthly Reports:

Tim Wolken provided an update on the facility rentals and a significant loss of revenue is anticipated due to COVID restrictions. Mr. Wolken indicated that County Parks has received approximately \$1 million in CARES funding to support restoration efforts at Paint Mines Interpretive Park and updating parks restrooms to reduce touch points.

Julia Sands de Melendez stated that she appreciates the newly installed large-scale signs at Bear Creek Regional Park reminding citizens about keeping dogs on leash.

Susan Jarvis-Webber inquired about the proposed name change of Elephant Rock Open Space. Ross Williams indicated that because Elephant Rock is not actually located on the

RECORD OF PROCEEDINGS

open space site, it was causing some confusion. This led to the proposed name change to Santa Fe Open Space. The master plan for the site is proposed to be presented to the Park Advisory Board in August.

9. Board/Staff Comments:

10. Adjournment: **The meeting adjourned at 3:22 p.m.**

Julia Sands de Melendez, Secretary

El Paso County Parks

Agenda Item Summary Form

Agenda Item Title: The Hills at Lorson Ranch PUDSP

Agenda Date: July 8, 2020

Agenda Item Number: #6 - A

Presenter: Ross Williams, Park Planner

Information: **Endorsement:** X

Background Information:

Request by Lorson, LLC for approval of The Hills at Lorson Ranch PUDSP. The site is located in the center of the larger Lorson Ranch development along Fontaine Blvd, includes the overhead power line easement area, and is directly adjacent to the 25- acre school site.

The site consists of 123.2 acres and includes 514 single-family detached residential lots on 54.1 acres, open space tracts totaling 14.3 acres, and public right-of-way totaling 30.9 acres. The site is currently zoned RLM (Residential Low/Medium 4-6 DU/Acre) as illustrated on the Lorson Ranch Minor Sketch Plan Amendment which was approved on April 21, 2016. The applicant is proposing to rezone to PUD zoning and is providing an overall density of 4.16 DU/Acre which agrees with the previously approved sketch plan amendment.

Open Space dedication totals 14.3 acres, or 11% of the project site which meets the minimum 10% dedication for PUD zoning. This includes the overhead power line corridor, large tracts along Fontaine Blvd, and along bordering residential streets.

The El Paso County Parks Master Plan identifies the Fontaine Blvd Bicycle Route within the project site. The PUDSP plans currently show the continuation of a 6-foot shoulder along Fontaine Blvd which will accommodate the route within public right-of-way. No County regional trails are within the project site, however consistent with previously approved applications, the applicant is showing non-County trails within the overhead power line easement.

El Paso County Parks appreciated the continuation of this internal trail system and connections to the residential areas within the project site. Staff encourages the applicant to provide urban recreational opportunities, and to continue to develop a system of connected trails throughout Lorson Ranch for the benefit of the residents within the project area.

The letter of intent includes language stating that the PUDSP plans identify multiple locations ideal for pocket park type amenities. However, staff notes that these locations are not shown or labeled on the PUDSP plans. Consistent with Land Development Code

standards, please show the location of the proposed pocket parks on the PUDSP plans and forthcoming final plat drawings.

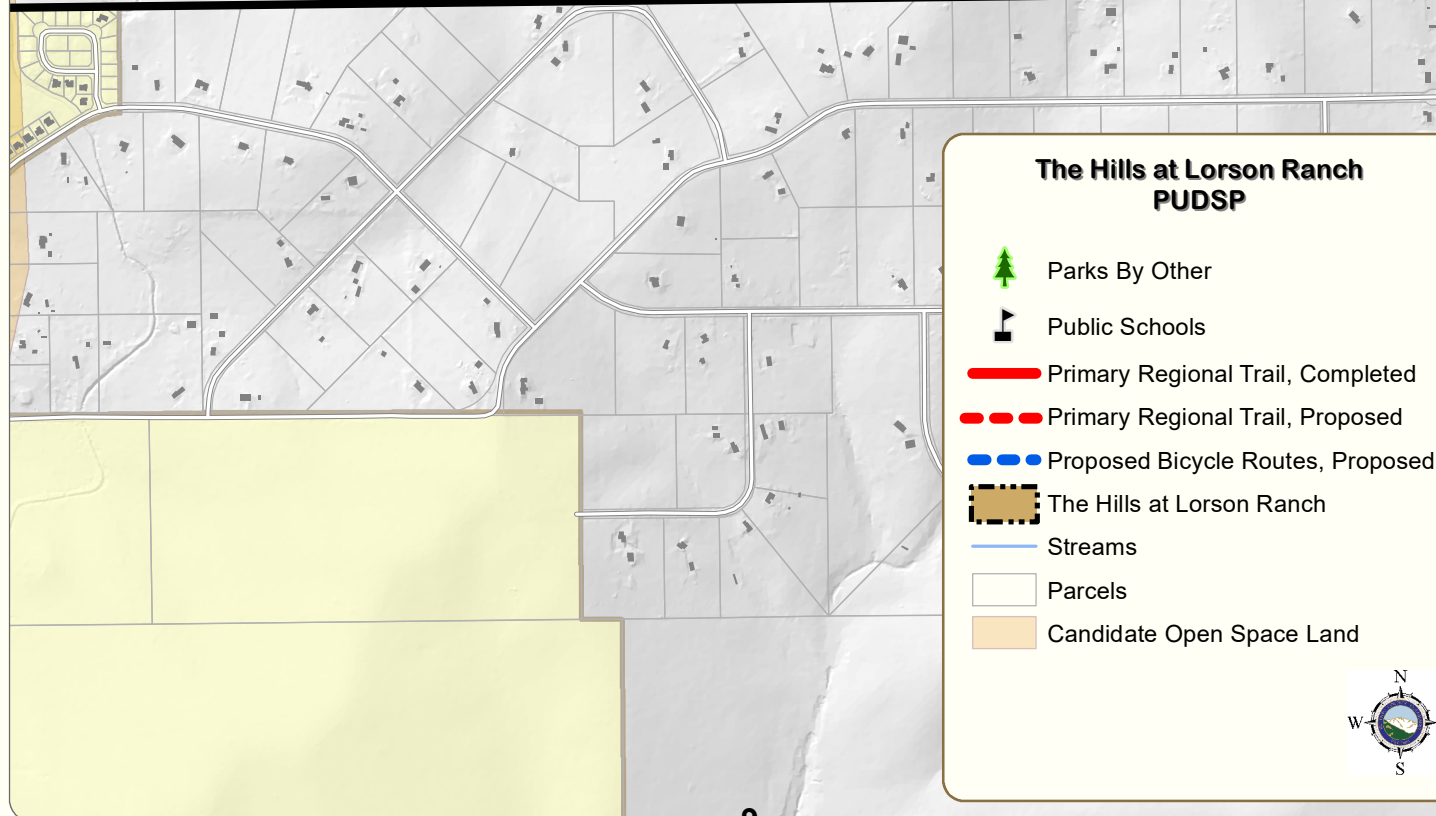
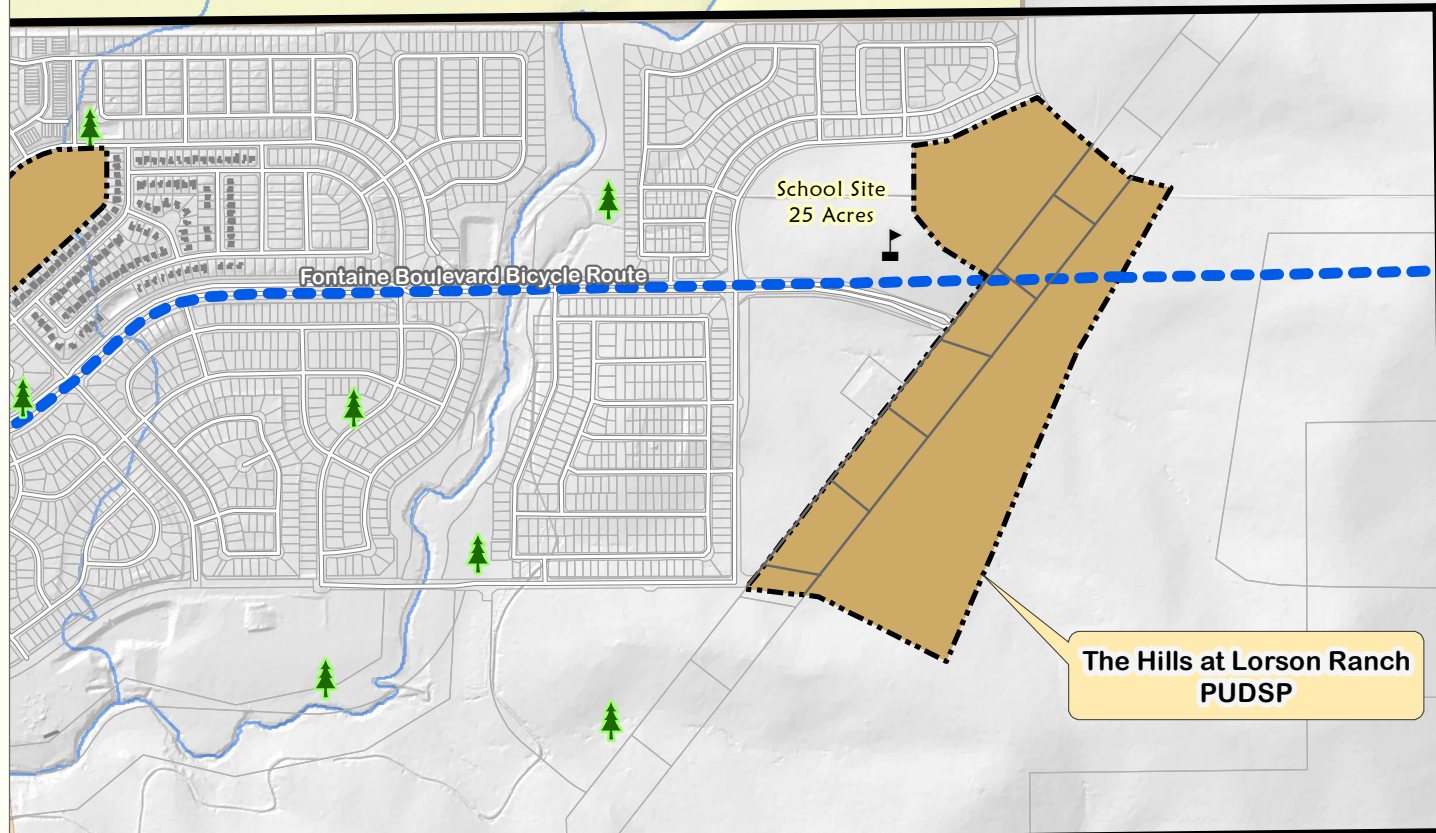
El Paso County Park fees in lieu of land dedication for regional and urban park purposes will be calculated upon review of forthcoming final plats, and will be required at time of the recording of the forthcoming final plats. A park lands agreement may be an acceptable alternative to urban park fees provided the agreement is approved by the County and executed prior to recording of the forthcoming final plats.

Recommended Motion:

The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving The Hills at Lorson Ranch Planned Unit Development / Preliminary Plan: (1) required fees for regional park purposes total \$240,038 and urban park purposes total \$151,630. However, these fees will be calculated upon review of forthcoming final plats. A park lands agreement may be an acceptable alternative to urban park fees provided the agreement is approved by the County and executed prior to recording the forthcoming final plats.

Jimmy Camp Creek Regional

COLORADO SPRINGS



Development
Application
Permit
Review



COMMUNITY SERVICES DEPARTMENT
Park Operations - Community Outreach - Environmental Services
Veterans Services - Recreation / Cultural Services

June 26, 2020

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	The Hills at Lorson Ranch PUDSP	Application Type:	PUDSP
PCD Reference #:	PUDSP-203	Total Acreage:	123.20
		Total # of Dwelling Units:	514
Applicant / Owner:	Owner's Representative:	Dwelling Units Per 2.5 Acres:	10.43
Lorson, LLC	Matrix Design Group	Regional Park Area:	4
212 N. Wahsatch Ave	2435 Research Parkway	Urban Park Area:	4
Colorado Springs, CO 80903	Colorado Springs, CO 80920	Existing Zoning Code:	PUD
		Proposed Zoning Code:	PUD

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.	The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.
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LAND REQUIREMENTS		Urban Density (> 1 Dwelling Unit Per 2.5 Acres):		YES
Regional Park Area: 4		Urban Park Area: 4		
0.0194 Acres x 514 Dwelling Units = 9.972		Neighborhood:	0.00375 Acres x 514 Dwelling Units =	1.93
Total Regional Park Acres: 9.972		Community:	0.00625 Acres x 514 Dwelling Units =	3.21
		Total Urban Park Acres:		5.14
FEE REQUIREMENTS		Urban Park Area: 4		
Regional Park Area: 4		Neighborhood: \$116 / Dwelling Unit x 514 Dwelling Units =		\$59,624
\$467 / Dwelling Unit x 514 Dwelling Units = \$240,038		Community: \$179 / Dwelling Unit x 514 Dwelling Units =		\$92,006
Total Regional Park Fees: \$240,038		Total Urban Park Fees:		\$151,630

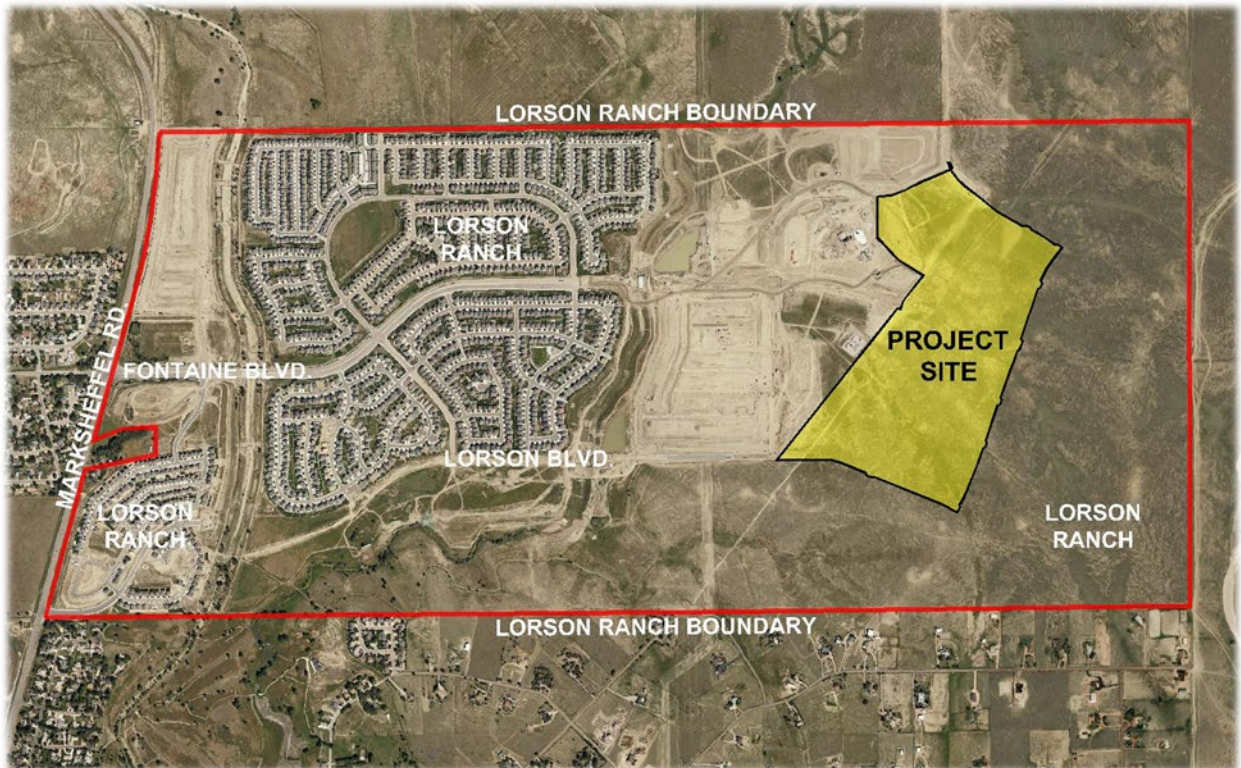
ADDITIONAL RECOMMENDATIONS

Staff Recommendation: The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving The Hills at Lorson Ranch Planned Unit Development / Preliminary Plan: (1) required fees for regional park purposes total \$240,038 and urban park purposes total \$151,630. However, these fees will be calculated upon review of forthcoming final plats. A park lands agreement may be an acceptable alternative to urban park fees provided the agreement is approved by the County and executed prior to recording the forthcoming final plats.

Park Advisory Board Recommendation:

THE HILLS AT LORSON RANCH
LETTER OF INTENT
Planned Unit Development, Preliminary Plan, Early Grading,
& Wet Utilities

May 26, 2020



PREPARED FOR:

Lorson LLC
212 N. Wahsatch Ave., Suite 301
Colorado Springs, CO 80903

PREPARED BY:

Matrix Design Group
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920

Owner/ Applicant: Lorson LLC et/ al
212 N. Wahsatch Ave., Suite 301
Colorado Springs, CO 80903
Office: (719) 635-3200

Planner: Matrix Design Group
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Office: (719) 575-0100

Civil Engineer: Core Engineering Group
15004 1st Avenue S.
Burnsville, MN 55306
Office: (952) 303-4212

Tax Schedule No: 5500000403; 5500000371; 5500000274; 5500000276; 550000040;
5500000278; 5500000279; 5500000280; 5500000405

Site Location, Size, Zoning:

Lorson LLC is respectfully submitting development applications for The Hills at Lorson Ranch to include a combined PUD Development Plan/ Preliminary Plan, request for early grading, and request for early construction of utility mains. The site is 123 acres with 514 single family detached residential lots located within the eastern portion of the Lorson Ranch. The Hills at Lorson Ranch is a continuation of the Lorson Ranch development and will open the eastern portions of Lorson Ranch to development as new roadways and utility main extensions will be designed and constructed as part of this proposed development. The site is currently zoned RLM (Residential Low/ Medium 4-6 DU/ Acre) as illustrated on the Lorson Ranch Minor Sketch Plan Amendment approved April 21, 2016.

The site is bordered by an existing 325' wide powerline easement to the west, and vacant Lorson Ranch property to the north, east, and south. The parcels that make up this submittal are vacant with no existing buildings, structures or facilities. There are existing drainage and channel improvement features that were installed in previous filings. The existing 325' wide overhead electric power line easement runs through the site in a northeasterly direction shall remain. The site layout has been designed to accommodate this easement and will cause little to no impact. The site contains no natural drainage ways or significant natural features.

Request & Justification:

The purpose of this application is to request approval of a combined PUD Development and Preliminary Plan (PUDSP), a Pre-Development Early Grading Request and installation of wet utility mains for the Hills at Lorson Ranch project within Lorson Ranch. The PUD Development and Preliminary Plan shows the general concept for the design of the single-family detached residential community and open spaces, as well as identify the development standards for the proposed residential product types. The plan describes the lot sizes, transportation systems,

public rights-of-way, and easements necessary for the development. Since the site is quite large and grading operations are expected to be substantial, the early grading request will permit grading operations to begin upon approval of the PUD/ Preliminary Plan and prior to Final Plat. Early installation of wet utilities is also being requested for the main trunk lines within arterial and collector roadways since these roadways are essential to the sequencing of future lot construction.

The proposed application includes 514 new single family lots on 123 acres for a density of 4.17 DU/ Acre. The site layout incorporates a mix of lot sizes to include: 50' x 110' (5,500 SF); and 60' x 110' (6,600' SF); 45' x 95' (4,275 SF); and front loaded 35' x 84' (2,940 SF). The smallest lot size of 35' wide introduces a new single car garage product to Lorson Ranch further increasing affordable housing options within the development. All streets shall be public, permitting on-street parking, with corner lots for all unit types designed with additional corner lot width to accommodate sight distance and sidewalk requirements. In addition to the on-street parking, each lot will provide a full length driveway for off-street parking. There is no proposed access to the south into Peaceful Valley Estates. There shall be no direct access to any arterial or collector streets. Fontaine Blvd. as well as Lorson Blvd. are designed to handle existing and proposed traffic expected to be developed within the Lorson Ranch community. A traffic impact analysis was completed and is included with this submittal.

The community is designed to provide for functioning automobile and pedestrian circulation, taking advantage of surrounding land uses. Within the overall Lorson Ranch development, open space and community connections are planned providing easy access to open space corridors such as Jimmy Camp Creek, pocket parks and the adjoining neighborhoods. While the PUDSP drawings illustrate a single phase due to major utility infrastructure needs, the platting of individual lots and construction of housing may occur in phases based on market trends. Roadways, utilities, drainage, and necessary improvements will be constructed in the most optimal and efficient manner in order to facilitate development construction and sequencing.

As with previous Lorson Ranch developments, Lorson Ranch East will be developed and advanced per the Sixth Amended Development Agreement Lorson Ranch. The 6th Amended Development agreement outlines updated access, road impact fees, and future road ROW's issues with previous agreements remaining in effect.

El Paso County PUD Section 4.2.6(D) Approval Criteria, 1998 El Paso County Policy Plan, and El Paso County Preliminary Plan Section 7.2.1(D)-2E Approval Criteria:

The purpose of the PUD is to provide the information necessary to rezone a property to the PUD Zoning district and to provide a graphical representation to serve as the zoning of the property after approval. The PUDSP sets forth the stated purpose of the PUD Zoning and Preliminary Plan Criteria through illustrated detailed use design, dimensional and development standards, utility connections, landscaping and other important site improvements.

The 1998 El Paso County Policy Plan establishes broad goals and policies intended to serve as a framework for land use applications and development in the County. The County Wide Policy Plan ties the specific small area plans, and other Master Plan elements such as the Water Master Plan, Master Plan for Mineral Extraction, El Paso County Department of Parks and

Leisure Services Master Plan and the Major Transportation Corridors Plan together. The Policy Plan provides general direction in terms of water use, density, buffers, transitions, and infrastructure where no small area plan exists. The Hills at Lorson Ranch PUDSP meets the requirements of these planning tools as outlined in more detail within the sections below.

The Lorson Ranch Minor Sketch Plan Amendment approved April 21, 2016 illustrates the proposed PUDSP area as RLM (Residential Low/ Medium 4-6 DU/ Acre). The PUDSP submitted with this application remains consistent with the approved Sketch Plan Amendment by maintaining the approved residential zoning designation and approved densities.

The proposed property is suitable for the intended use and the use is compatible with both the existing and allowed land uses on the neighboring properties to the west and southeast consisting of single family residential or open space. The new development will be in harmony with the existing surrounding character of the area and natural environment using varying residential densities, perimeter buffering and provisions for both natural and built open space. There are no areas of significant historical, cultural or recreational features found on site.

The project has been designed to not be detrimental to the health, safety, or welfare of the present or future inhabitants by meeting the submittal guidelines as illustrated in the zoning code and application packet.

The proposed PUDSP will not have a negative impact upon the existing and future development of the area, but rather continue with the planned sequencing of phasing and development. This design approach supports *Policy 6.1.1: Allow for a balance of mutually supporting interdependent land uses, including employment, housing and services in the more urban and urbanizing areas of the County* and *Policy 6.1.3: Encourage new development which is contiguous and compatible with previously developed areas in terms of factors such as density, land use and access.*

The proposed single family residential use will not overburden the capacities of existing or planned roads, utilities or other public features, drainage, police protection, emergency services, and water/ wastewater services as these services have been planned for in advance and are adequately sized to meet the demands of this phase and other future phases. A sufficient water supply has been acquired and can provide the water necessary for the proposed 514 units. In addition, a wastewater system has been established and can adequately serve the proposed units. Please refer to the water and wastewater reports for more information.

By providing open space areas and extending existing utility services already approved and in place, the Hills at Lorson Ranch supports *Policy 6.1.5: Support the development of well-planned mixed-use projects* and *Policy 6.1.11: Plan and implement land development so that it will be functionally and aesthetically integrated within the context of adjoining properties and uses.*

A Geology and Soils Report was prepared by RMG-Rocky Mountain Group and is included with the submittal package. As part of this report, 110 exploratory test borings were completed. There are no significant geological hazards found to be present on the site.

There was no ground water encountered and the site was found to possess low to moderate potential for either expansive or hydrocompactive soils. Bedrock was also encountered in the majority of test borings performed and is anticipated to be encountered in the building excavations or utility trenches for this development. It may be necessary to design and implement mitigation alternatives on a lot by lot basis although the conditions found at this site are relatively common to the immediate area and mitigation can be accomplished by implementing common engineering and construction practices. Refer to the soils report for more detailed information.

2003 Highway 94 Comprehensive Plan

Per the Highway 94 Comprehensive Plan Map 8.1, it appears the northern most portion of the Hills at Lorson Ranch is within Sub-Area 4 of the 2003 Highway 94 Comprehensive Plan. This area of the project is located north of Fontaine Blvd. The portions of the PUDSP south of Fontaine Blvd. are not included within the Highway 94 Comp Plan.

Sub-Area 4 is characterized as the Colorado Centre and calls for higher intensity land uses that will blend with the existing Colorado Springs character. This proposal meets several of the Highway 94 plan's goals, including:

-Goal 1. Guide growth in a manner that respects the emerging needs of the community....:

Lorson Ranch provides valuable and affordable housing to the Fountain Valley area. Lorson Ranch also provides housing along existing major transportation corridors such as Marksheffel Rd.

-Goal 2. Achieve a desirable and efficient use of the land while enhancing the physical environment through functional and compatible land use configurations:

This site was previously approved for residential uses and this PUDSP continues the existing pattern of residential development.

-Objective 2.2: Ensure that the nature and intensity of proposed development are consistent with the Land Use Map and Sub-Area scenarios:

-Goal 3. Ensure that residential development is appropriate for the Planning Area:

The Hills at Lorson Ranch continues the existing development pattern already approved, built, and thriving elsewhere in Lorson Ranch.

EL PASO COUNTY WATER MASTER PLAN:

The Hills at Lorson Ranch is located within the Widefield Water and Sanitation District's (WWSD) boundaries and will rely upon municipal services for water supply. These municipal services have been provided in previous Lorson Ranch filings and will be extended to this proposed development. There are no proposed wells or individual septic systems within the Hills at Lorson Ranch. The WWSD has provided letters of intent to serve commitment letters for the Hills at Lorson Ranch. The district has also provided the water quality report as required by El Paso County. The Hills at Lorson Ranch will seek the Colorado State Engineer's sufficiency of water finding for both quantity and quality as part of this PUDSP. In addition, the Hills at Lorson Ranch meets the stated Goals and Policies:

- Goal 1.2 – Integrate water and land use planning
- Goal 4.2 – Support the efficient use of water supplies

- Goal 6.1.2 – Promote water conservation

through integrated master planning of site planning, landscape and water resource best management practices. Water conservation is achieved through higher densities with smaller individual yards and more common open space. The common open space emphasizes water conservation using native turf seeds and limited high water sod.

Master Plan for Mineral Extraction:

The *1996 Master Plan for Mineral Extraction* updates and supersedes the *1975 El Paso County Master Plan for Mineral Extraction of Commercial Mineral Deposits* as amended in 1978 and 1982. This updated plan has two primary purposes, the first is to facilitate continued compliance with the mineral resource protection mandates outlined in the “Preservation of Commercial Mineral Deposits Act” of 1973 and the second is to provide guidance to the El Paso County Planning Commission and Board of County Commissioners in evaluating land use proposals involving new or expanded mining and mineral resource processing operations. Per the El Paso County Master Plan for Mineral Extraction Aggregate Resource Maps, this site is identified as ‘Valley Fill’ containing sand and gravel with silt and clay deposited by water in one or a series of stream valleys. The proposed project does not contain any mineral deposits of commercial value.

Total Number of Residential Units, Density, and Lot Sizes: 514 Single-Family Detached Residential Units for a density of 4.17 DU/ Acre. The site layout includes a mix of residential lot sizes: 50’ x 110’ (5,500 SF); and 60’ x 110’ (6,600’ SF); 45’ x 95’ (4,275 SF); and front loaded 35’ x 84’ (2,940 SF).

Total Number of Industrial or Commercial Sites:

There are no industrial or commercial sites proposed with this project.

Phasing Plan and Schedule of Development:

The Hills at Lorson Ranch will be developed as a single phase due to necessary utility commitments and infrastructure connections. The plat filings may be submitted in phases pending market demand; however major roadway and utilities will be installed with the first phase.

Areas of Required Landscaping:

The proposed PUDSP includes landscape design and streetscape planting requirements for the streetscapes along Fontaine Blvd, Lorson Blvd. and Walleye Dr. as well as for the proposed park areas. The landscape design includes a mix of deciduous and evergreen trees with varying ground plane treatments. There are no landscape waivers being requested at this time.

Approximate Acres and Percent of Land Set Aside for Open Space:

The PUDSP proposes 38.05 acres of open space which is 31% of the total site acreage. Per the EPCLDC, 12.3 acres or 10% of the total site area of open space is required within the PUD zoning district. Of the 38.05 acres being provided with the Hills at Lorson Ranch, 23.89 acres consist of the powerline easement. This easement forms a natural buffer within the community providing opportunities for pedestrian trail connectivity. In addition, trail corridors

have been illustrated on the plans along the powerline easement providing numerous connections to adjoining neighborhoods. The total open space provided with this application is part of the cumulative open space of the overall Lorson Ranch development in accordance with the Lorson Ranch Sketch Plan Minor Amendment.

Types of Proposed Recreational Facilities:

While there are no major recreational facilities such as large playfields proposed within the Hills at Lorson Ranch, the PUDSP identifies multiple locations ideal for pocket park type amenities. The exact nature of these pocket park sites are unknown at this time as the final park site amenities will be coordinated with El Paso County Parks based on construction sequencing. The installation timing will also be coordinated with County Park staff depending on final plat sequencing and construction phasing. Where possible the park sites are located near or adjacent to the existing and proposed trail corridors providing pedestrian connectivity.

Traffic Engineering:

Vehicular access and street layout shall be as illustrated on the PUDSP with all roadways to be public, built to El Paso County standards. The applicant requests that platted lots within the Hills at Lorson Ranch be included in the county wide Public Improvements District (PID 2) implemented as part of the Traffic Impact Fee resolution.

The Hills at Lorson Ranch includes the continuation of two major roadways, the eastward extension of both Fontaine Blvd. and Lorson Blvd. The extension of these roadways will provide the necessary points of ingress/ egress for this development and create numerous circulation routes through internal neighborhoods. A new collector shown as Walleye Dr. is being installed running north/ south connecting Fontaine Blvd. to Lorson Blvd. This proposed collector will run northward connecting with yet another proposed collector roadway, Grayling Dr. Grayling Dr. is being shown as extending to northern property line of Lorson Ranch for a future connection with adjacent parcels.

Fontaine Blvd. is being designed as a two-lane minor arterial with a 100' public right-of- way. The traffic report discusses the merits and justification for this roadway designation and configuration. However, as part of future consideration for possible expansion, the tracts on either side of Fontaine Blvd. are being reserved as landscape setbacks and public improvement corridors should the additional right of way be needed for expanding Fontaine Blvd. There will be no direct lot access to Fontaine Blvd.

Lorson Blvd. is a planned continuous roadway that will extend from Marksheffel Rd in the far southwestern corner of Lorson Ranch. Lorson Blvd. is being shown as an Urban Non Residential Collector roadway with a proposed 64' right-of-way. This is a continuation of Lorson Blvd. as approved with the Lorson Ranch East project.

Proposed Services:

1. Water/ Wastewater: Widefield Water and Sanitation District
2. Gas: Black Hills Energy

- | | |
|-----------------------|-------------------------------------|
| 3. Electric: | Mountain View Electric |
| 4. Fire: | Security Fire Protection District |
| 5. School: | Widefield District #3 |
| 6. Roads: | El Paso County Road and Bridge |
| 7. Police Protection: | El Paso County Sheriff's Department |

Impacts associated with the PUD Development Plan & Preliminary Plan:

Floodplain: This site is not located within a designated FEMA floodplain as determined by the flood insurance map, community map number '08041C0976G' effective date December 7, 2018.

Site Geology: RMG has provided a Geology Soils Report with this submittal. This report has identified any potential Geologic Hazards on site related to development of the property along with proposed mitigation of the hazards. The development will incorporate the recommended mitigation during final design and construction on site.

Wetlands: There are no drainage areas, drainage ways or water courses found on site, as a result there are not wetlands present. All drainage and erosion criteria have been met following El Paso County Development Standards.

Air Pollution: By adhering to current air quality regulations, any air pollution emanating from the development will be negligible. The site has very little vegetation and contains mostly native turfgrass which may result in higher than normal amounts of dust during windy days. However, the proposed development will provide irrigated turf areas and native seeding to help alleviate the dust issues. Construction practices will adhere to El Paso County health department, as well as state department codes and regulations

Water Pollution: By adhering to current wastewater and stormwater regulations, any water pollution emanating from the development will be negligible. An erosion and sedimentation plan will be in place prior to construction.

Noise Pollution: Vehicular movement is expected to be the only major source of noise pollution emanating from the site after construction is complete. The proposed development is surrounded by similar land uses and the effects of noise generated from the site will have little or no impact on other surrounding areas.

Visual Assessment: The natural mountain backdrop of the Rampart Range is perhaps the best natural feature of the Hills at Lorson Ranch community with sweeping views in nearly all directions. The scenic view shed is impaired somewhat by intervening development; however, the panoramic views remain quite spectacular.

Vegetation, Wildlife Habitats and Migration Routes:

Proposed landscaping will include low-water use plant material, and where possible, the plant material will be native to the Colorado Springs region.

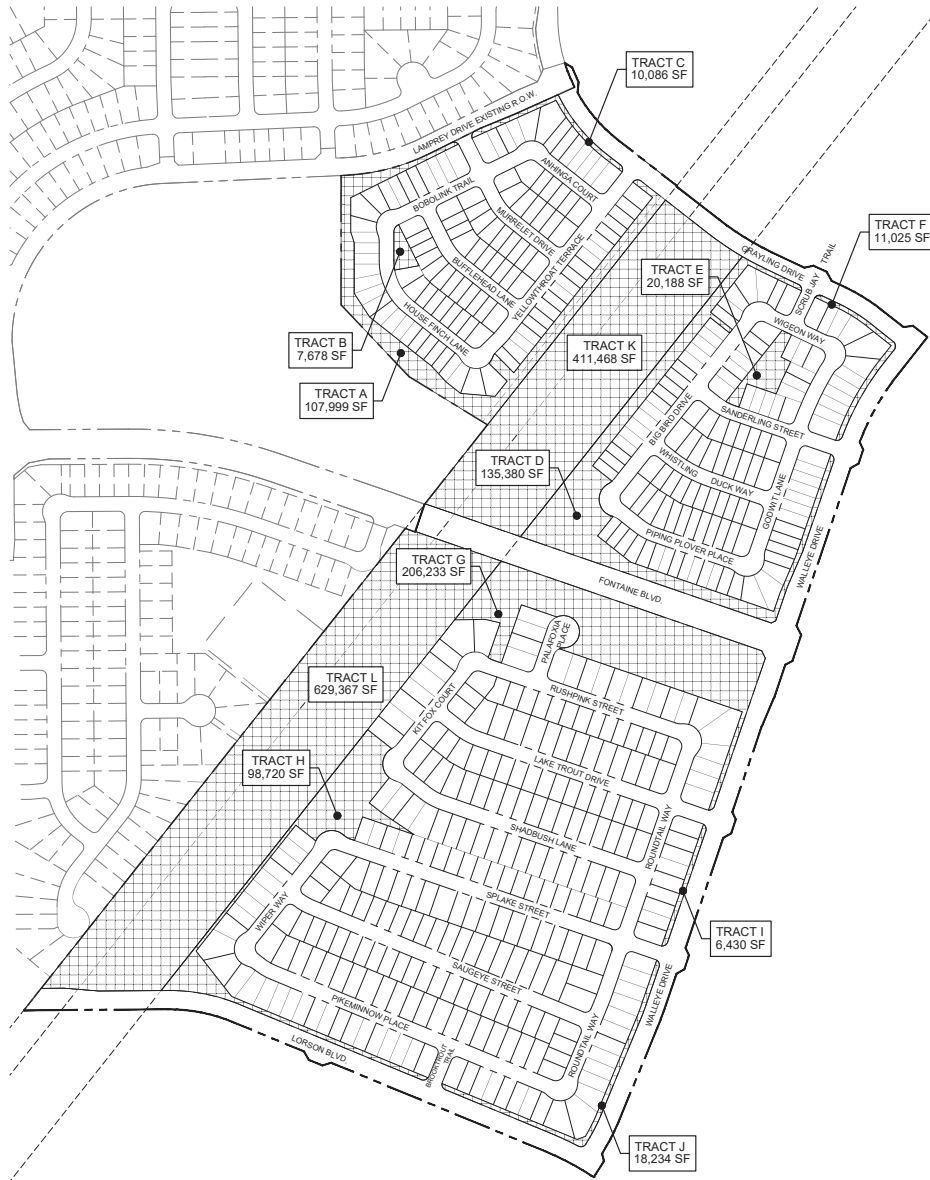
The Colorado Division of Wildlife note the following as also present in the area.

- Prairie Dog

- Mule and White Tailed Deer
- Pronghorn Antelope
- Fox species
- Coyote
- Rabbits
- Raptors
- Songbirds
- Numerous Small Mammals

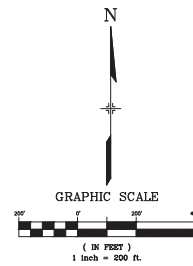
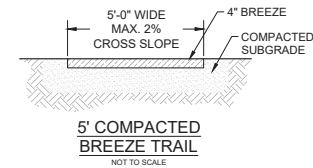
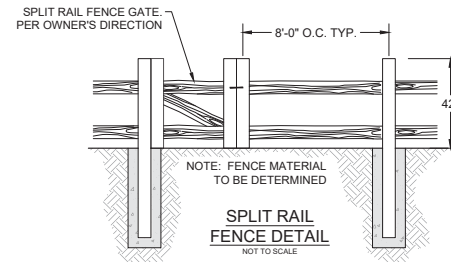
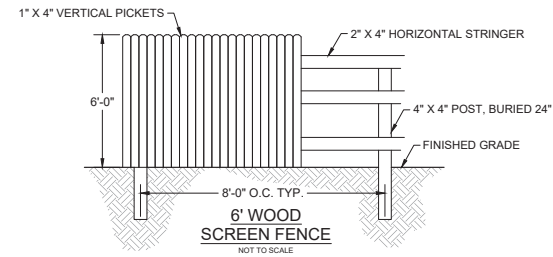
Due to the construction activity and adjoining residential developments, it is not anticipated that the application will have significant impacts on wildlife in the area.

20



TRACT	SIZE (SF)	LANDSCAPE/ PARK OPEN SPACE/ TRAIL	SIGNAGE/PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PUBLIC UTILITIES	OWNED BY	MAINTAINED BY
A	107,999	X	X	X	X	LRMD	LRMD
B	7,678	X	X	X	X	LRMD	LRMD
C	10,086	X	X	X	X	LRMD	LRMD
D	135,380	X	X	X	X	LRMD	LRMD
E	20,188	X	X	X	X	LRMD	LRMD
F	11,025	X	X	X	X	LRMD	LRMD
G	206,233	X	X	X	X	LRMD	LRMD
H	98,720	X	X	X	X	LRMD	LRMD
I	6,430	X	X	X	X	LRMD	LRMD
J	18,234	X	X	X	X	LRMD	LRMD
K	411,468	X	X	X	X	LRMD	LRMD
L	629,367	X	X	X	X	LRMD	LRMD
	1,662,808						

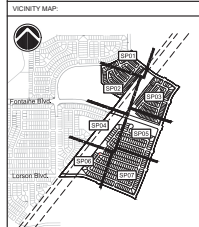
LRMD = LORSON RANCH METROPOLITAN DISTRICT



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OWNER/DEVELOPER:
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PROJECT:
THE HILLS AT LORSON RANCH
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EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020

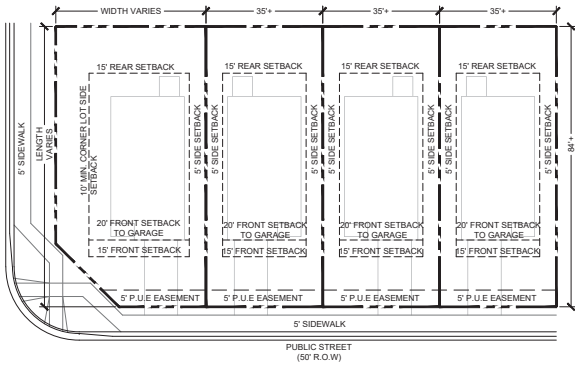
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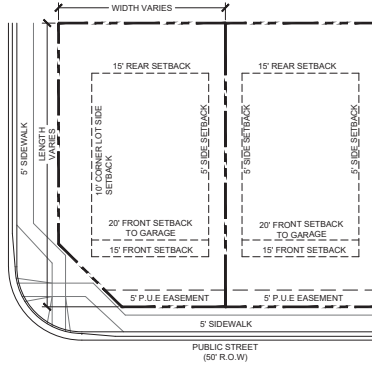
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AND DETAILS**

DT01
SHEET 02 OF 11

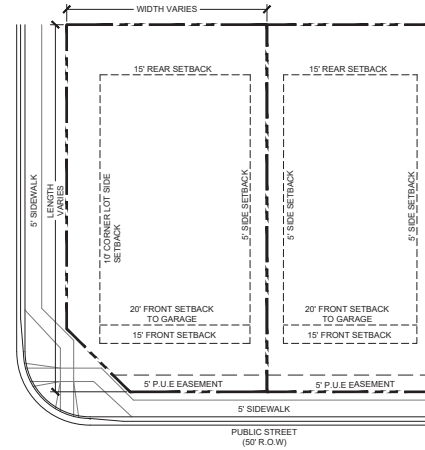
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LOTS 1-239



LOTS 271-284, 289-305, 319-335,
352-384, 408-448, 469-514



LOTS 240-270, 285-288, 306-318,
336-351, 385-407, 449-468

DIMENSIONAL STANDARDS AND GUIDELINES

DIMENSIONAL STANDARDS FOR LOTS 1 - 239

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 5,000 SF
2. MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWENTY FIVE FEET (25) OR AS OTHERWISE SHOWN.
5. PROJECTIONS INTO SETBACKS ARE COVERED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT YARD: TWENTY FEET (20) TO FACE OF GARAGE
 - B. SIDE YARD: FIVE FEET (5') TO FACE OF HOUSE
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): MINIMUM TEN FEET (10')
7. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
8. SETBACK REQUIREMENTS:
 - A. SIDE YARD: FIVE FEET (5')
 - B. REAR YARD: FIVE FEET (5')

DEVELOPMENT STANDARDS AND GUIDELINES

PRINCIPAL USES:

1. THERE SHALL ONLY BE ONE (1) PRINCIPAL, PRIMARY USE OF SINGLE-FAMILY RESIDENCE PER LOT.
2. ALLOWED USES INCLUDE: SINGLE-FAMILY RESIDENTIAL, MAIL ROOMS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK-RELATED EQUIPMENT, AND OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES.

*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TEMPORARY USES:

1. MODEL HOME/REDEMPTION SALES OFFICE
2. CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
3. YARD OR GARAGE SALES

*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

ACCESSORY USES:

1. RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
2. RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
3. SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
4. PERSONAL USE GREEN HOUSE OR GARDEN: GROWING OF MARIJUANA IS NOT PERMITTED.
5. MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE: ONLY 1 PER LOT.

*ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

DIMENSIONAL STANDARDS FOR LOTS 271 - 284, 289 - 305, 319 - 335, 352 - 384, 408 - 448, 469 - 514

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 3,825 SF
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30) OR AS OTHERWISE SHOWN.
5. PROJECTIONS INTO SETBACKS ARE COVERED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT YARD: TWENTY FEET (20) TO FACE OF GARAGE
 - B. SIDE YARD: FIVE FEET (5')
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
7. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
8. SETBACK REQUIREMENTS:
 - A. SIDE YARD: FIVE FEET (5')
 - B. REAR YARD: FIVE FEET (5')

SPECIAL USES:

1. CURS FACILITY (STEALTH) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

ACCESSORY STRUCTURES:

1. SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED), COVERED OR UNCOVERED), GADGETS, PATIOS, HOT TUBS/ SPAS, AND POOLS.
2. FENCES, WALLS, OR HEDGES
3. MAILBOXES
4. PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
5. PERSONAL USE SMALL CELL TOWER
6. DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
7. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.

*ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

DIMENSIONAL STANDARDS FOR LOTS 240 - 270, 285 - 288, 306 - 318, 336 - 351, 385 - 407, 449 - 468

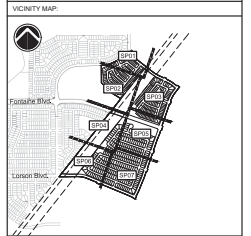
1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 5,000 SF
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: FORTY FEET (40')
5. PROJECTIONS INTO SETBACKS ARE COVERED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT YARD: TWENTY FEET (20) TO FACE OF GARAGE
 - B. SIDE YARD: FIVE FEET (5')
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
7. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
8. SETBACK REQUIREMENTS:
 - A. SIDE YARD: FIVE FEET (5')
 - B. REAR YARD: FIVE FEET (5')

TYPICAL LOT NOTES:

1. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/ EGRESS CONFIGURATION.
2. OWNER/ BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
3. ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A SIGHT DISTANCE EASEMENT SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY.
4. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

CONSULTANTS:
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PHONE: (763) 875-1100

OWNER/DEVELOPER:
LORSON LLC
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 655-3200



PROJECT:
THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND SITE PLAN
EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020

REVISION HISTORY			
NO.	DATE	DESCRIPTION	BY

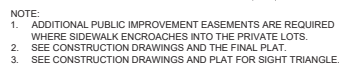
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APPROVED BY: JAA
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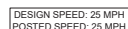
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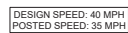


NOT TO SCALE



NOT TO SCALE

NOTE:
PAVEMENT SECTION TO BE DETERMINED
BY HVEEM ANALYSIS AND DESIGN. DESIGN
TO BE APPROVED BY EL PASO COUNTY PCD
ENGINEERING.



NOTE:
PAVEMENT SECTION TO BE DETERMINED
BY HVEEM ANALYSIS AND DESIGN. DESIGN
TO BE APPROVED BY EL PASO COUNTY PCD
ENGINEERING.



DESIGN SPEED: 40 MPH
POSTED SPEED: 35 MPH



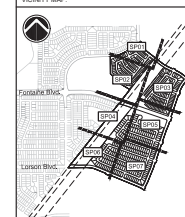
NOTE:
PAVEMENT SECTION TO BE DETERMINED
BY HVEEM ANALYSIS AND DESIGN. DESIGN
TO BE APPROVED BY EL PASO COUNTY PCO
ENGINEERING.

NOT TO SCALE

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306

LORSON LLC
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP



PROJECT

THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND SITE PLAN

EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020

REVISION HISTORY:

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DRAWN BY: R

CHECKED BY: J

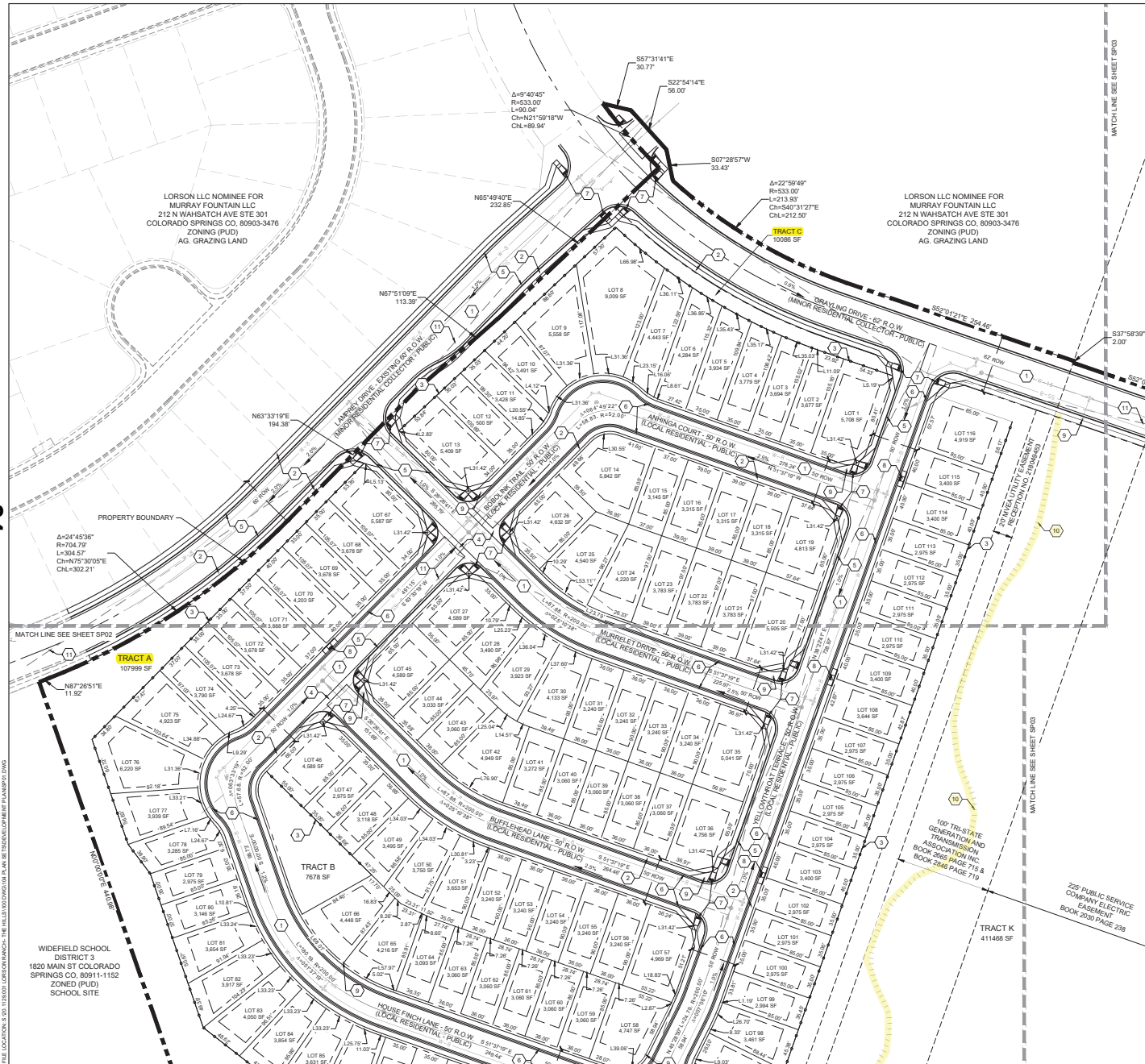
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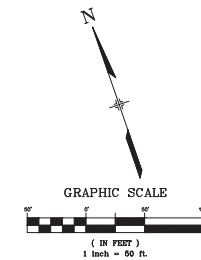


LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (S TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)



PROPOSED EASEMENT
BUILDING SETBACK
PROPERTY BOUNDARY
SHEET MATCHLINE
6' WOODEN SCREEN FENCE
SIGHT TRIANGLE
PROPOSED UTILITY STRUCTURES



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PROJECT:
THE HILLS AT LORSON RANCH
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INITIAL SUBMITTAL: MAY 22, 2020
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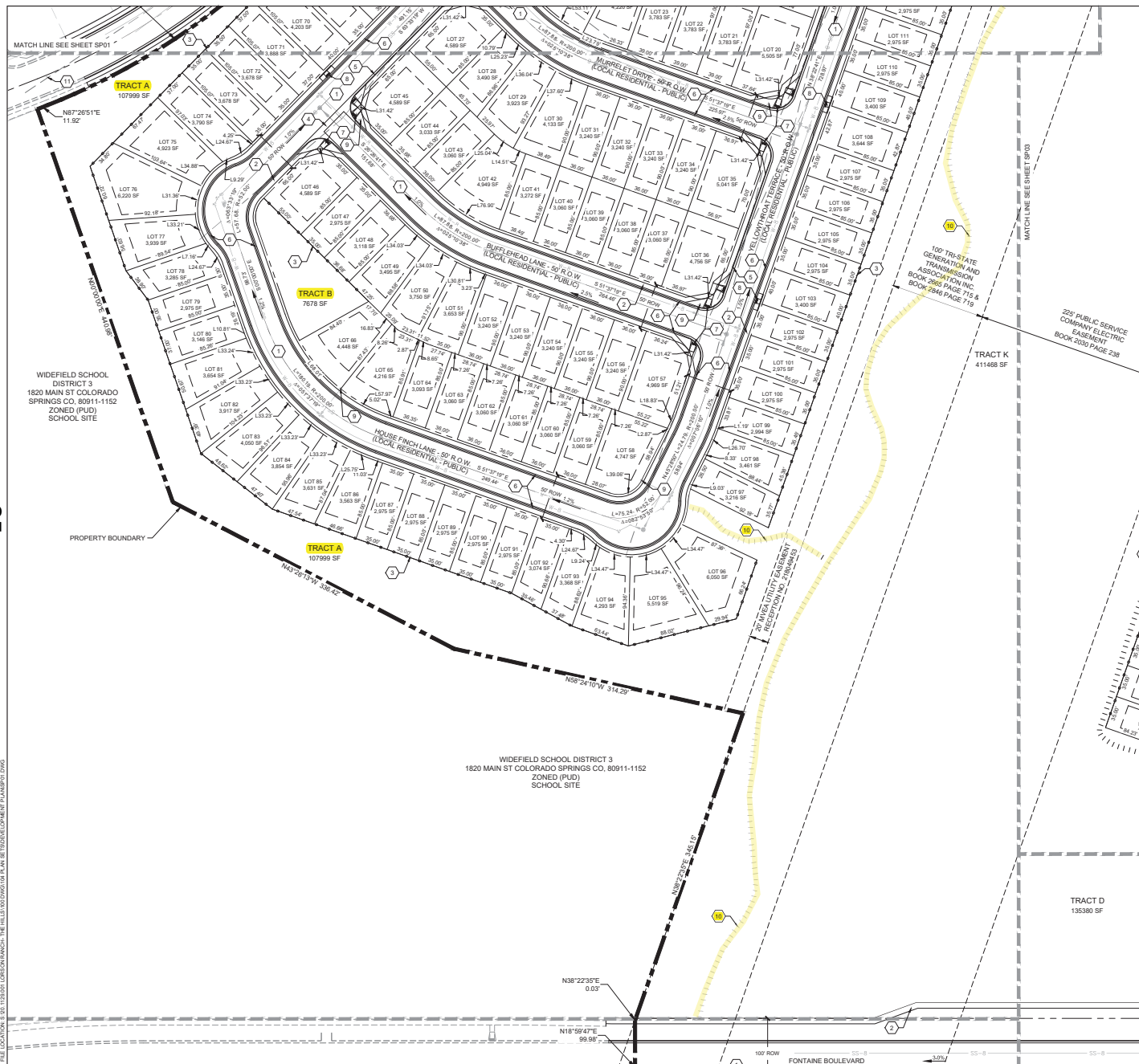
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APPROVED BY: JAA
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SITE PLAN

SP01

SHEET 05 OF 11

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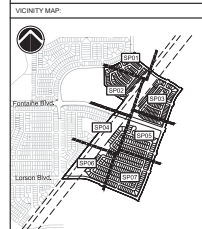


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PROJECT:
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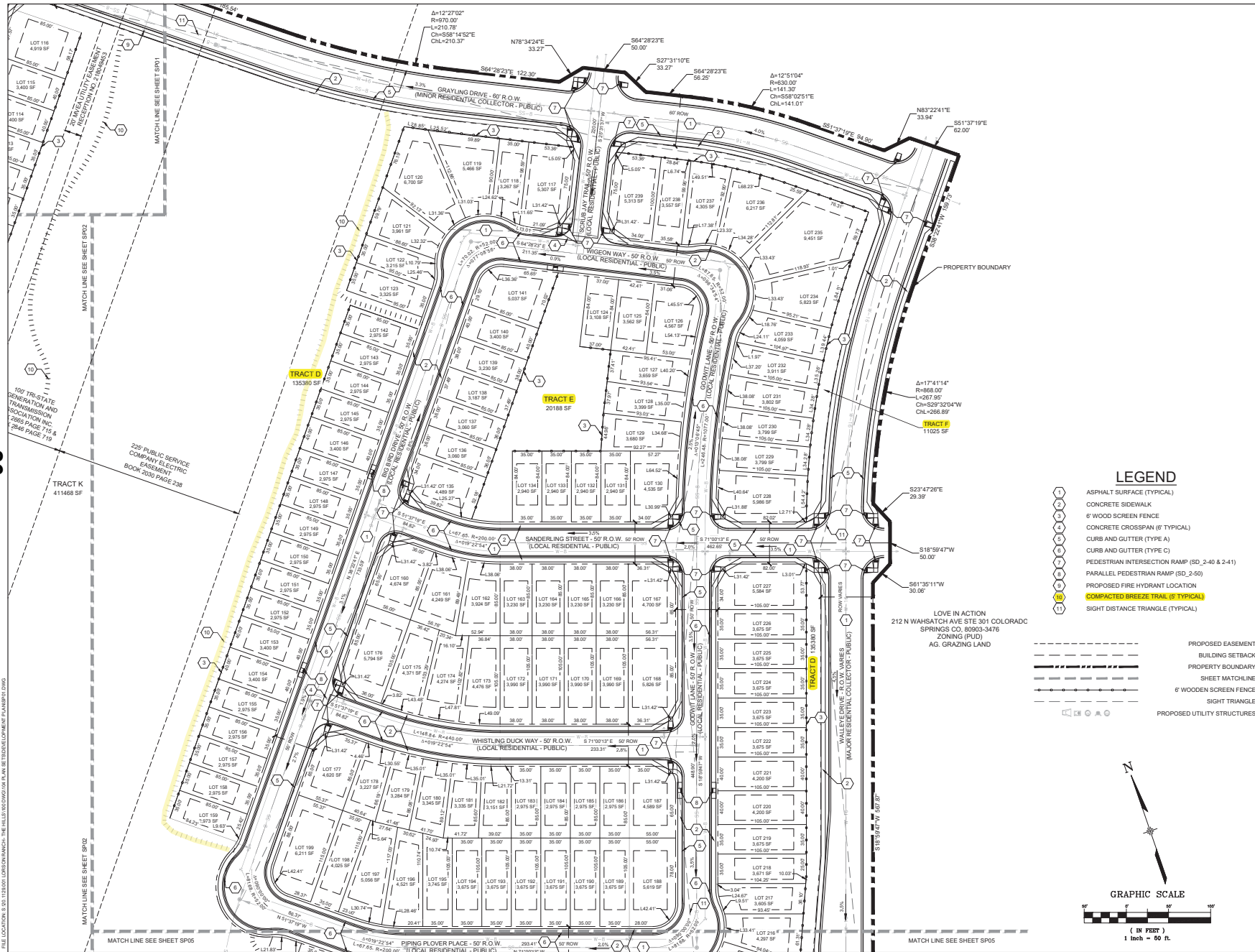
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SITE PLAN

SP02

SHEET 06 OF 11

PCD FILE NO.



LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6' WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (TYPICAL)
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- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (5' TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)



GRAPHIC SCALE

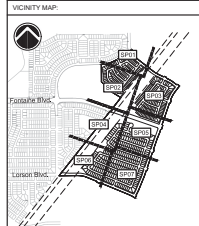
(IN FEET)

1 inch = 60 ft.

CONSULTANTS:
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PROJECT:
THE HILLS AT LORSON RANCH
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EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020

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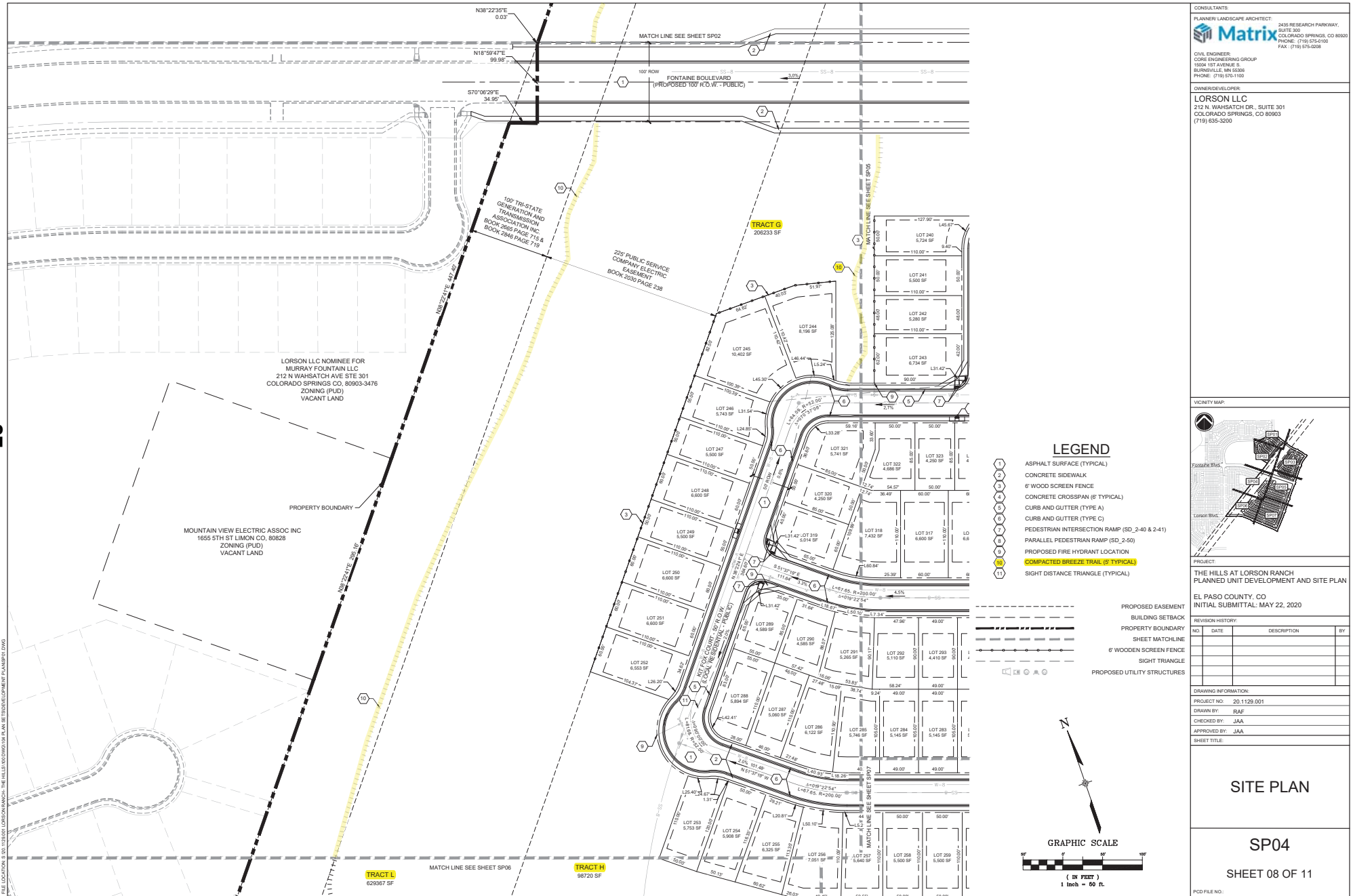
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APPROVED BY: JAA
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SP03

SHEET 07 OF 11

PCL FILE NO.



CONSULTANTS:

PLANNER/LANDSCAPE ARCHITECT:

Matrix

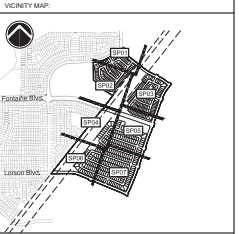
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(719) 635-3200



PROJECT:

**THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND SITE PLAN**

**EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020**

REVISION HISTORY			
NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO. 20.1129.001
DRAWN BY: RAF
CHECKED BY: JAA
APPROVED BY: JAA

SHEET TITLE

SITE PLAN

SP04

SHEET 08 OF 11

PCD FILE NO.

LORSON LLC
212 N. WAHSATCH DR., SUITE 301
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(719) 635-3200

PROJECT:

THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND SITE PLAN

INITIAL SUBMITTAL: MAY 22, 2020

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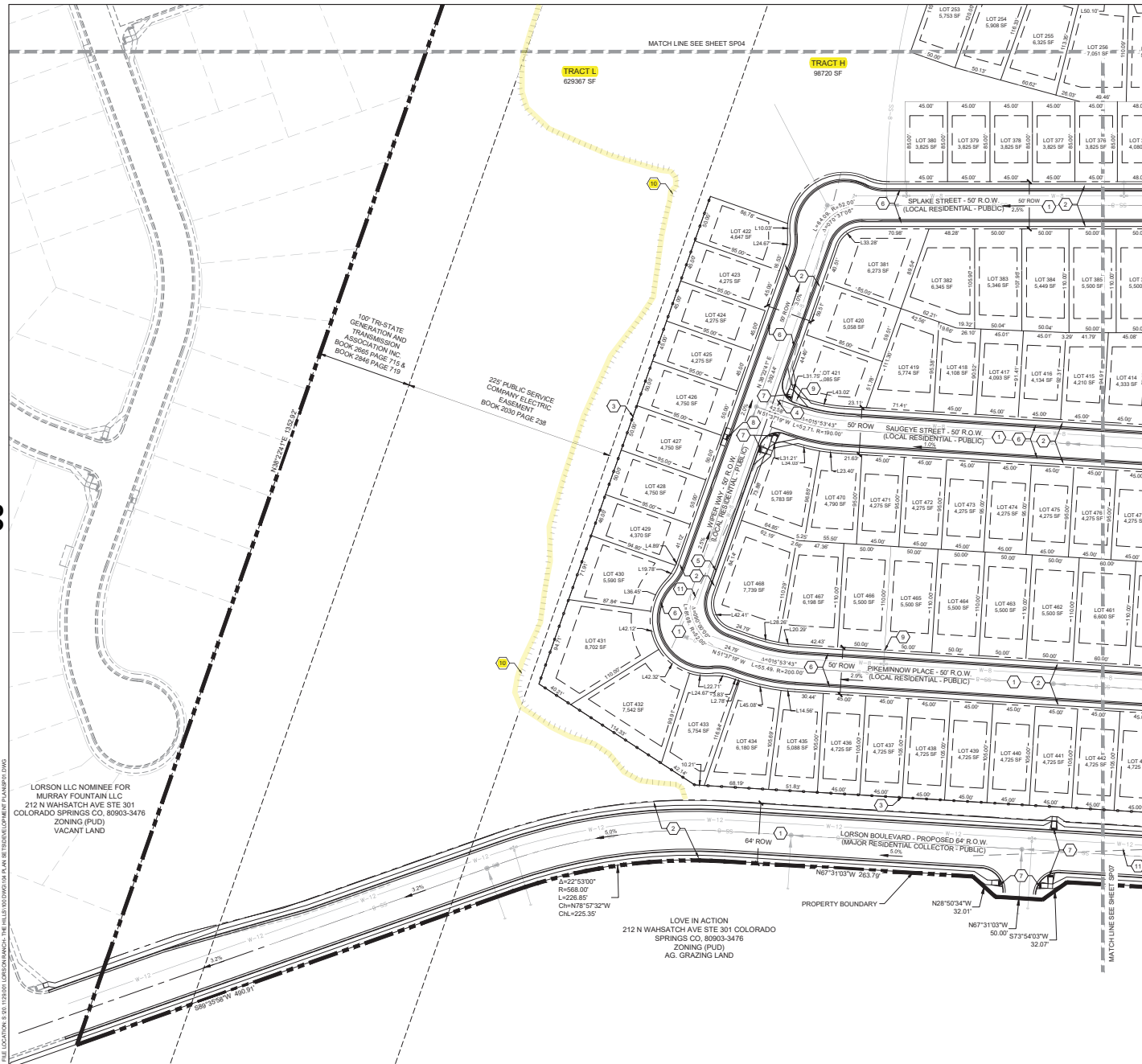
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APPROVED BY:	JAA
SHEET TITLE:	

SITE PLAN

SP05

SHEET 09 OF 11

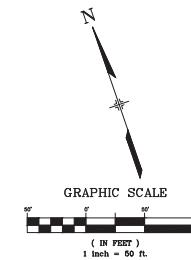
PCD FILE NO.:



- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
 - 2 CONCRETE SIDEWALK
 - 3 6" WOOD SCREEN FENCE
 - 4 CONCRETE CROSSSPAN (TYPICAL)
 - 5 CURB AND GUTTER (TYPE A)
 - 6 CURB AND GUTTER (TYPE C)
 - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
 - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
 - 9 PROPOSED FIRE HYDRANT LOCATION
 - 10 COMPACTED BREEZE TRAIL (TYPICAL)
 - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)



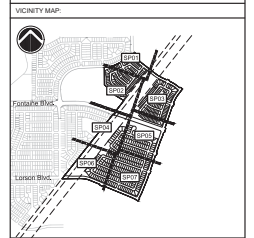
PROPOSED EASEMENT
BUILDING SETBACK
PROPERTY BOUNDARY
SHEET MATCHLINE
6' WOOD SCREEN FENCE
SIGHT TRIANGLE
PROPOSED UTILITY STRUCTURES



CONSULTANTS:
PLANNER/LANDSCAPE ARCHITECT:
Matrix
3435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80909
PHONE: (719) 575-6100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
10304 1ST AVENUE S.
BURNINGWATER, MN 55308
PHONE: (719) 575-1100

OWNER/DEVELOPER:
LORSON LLC
212 N WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 655-3200



PROJECT:
THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND SITE PLAN

EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020

REVISION HISTORY			
NO.	DATE	DESCRIPTION	BY

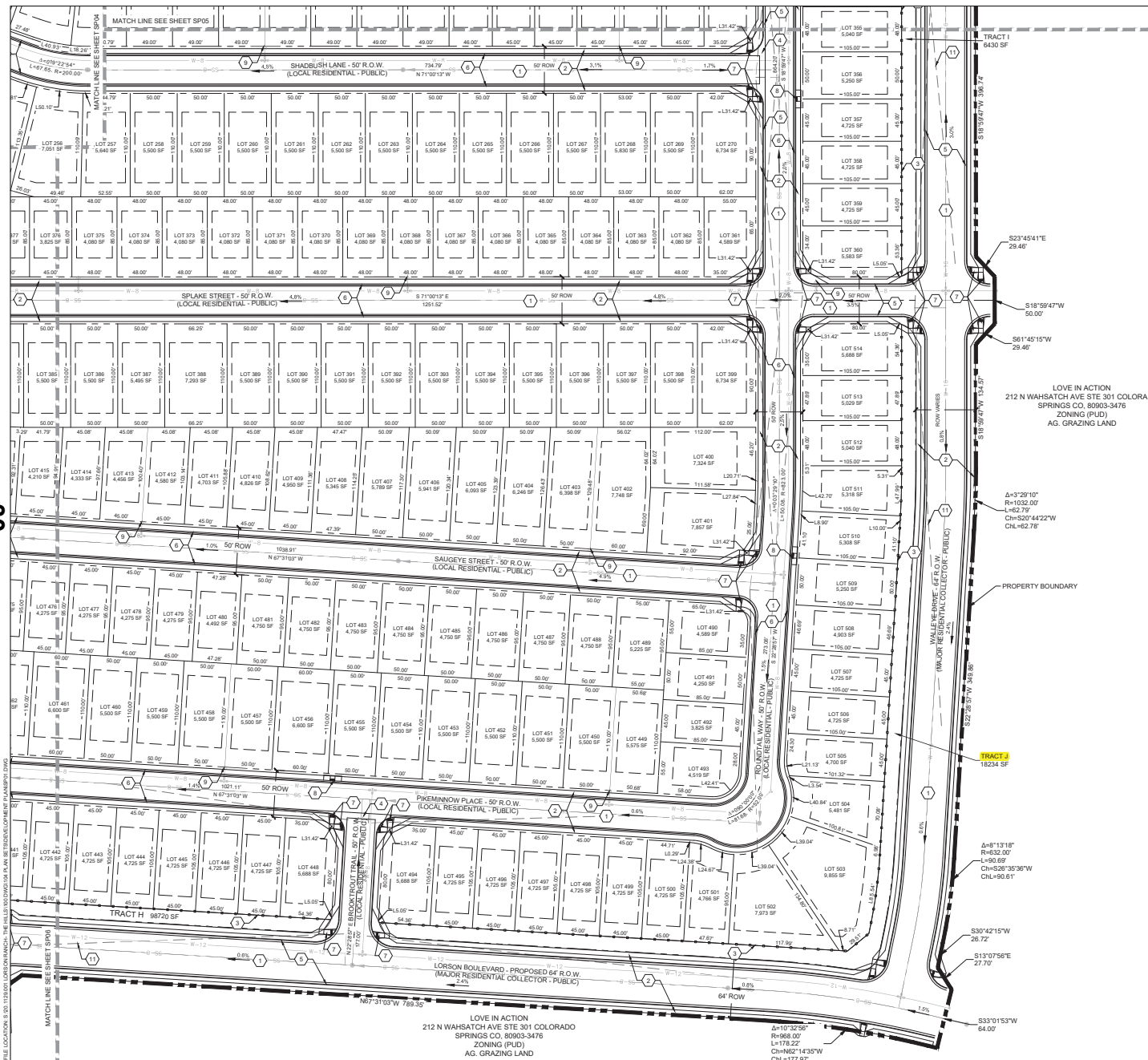
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DRAWN BY: RAF
CHECKED BY: JAA
APPROVED BY: JAA
SHEET TITLE

SITE PLAN

SP06

SHEET 10 OF 11

PDF FILE NO.



CONSULTANTS:

PLANNER/LANDSCAPE ARCHITECT:

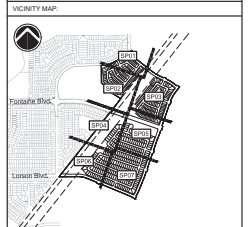
Matrix

3435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80909
PHONE: (719) 575-6100
FAX: (719) 575-0208

OWNER/DEVELOPER:

LORSON LLC

212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 535-3200



PROJECT:

THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND SITE PLAN

EL PASO COUNTY, CO
INITIAL SUBMITTAL: MAY 22, 2020

NO.	DATE	DESCRIPTION	BY
1			
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DRAWING INFORMATION:

PROJECT NO. 20.1129.001

DRAWN BY: RAF

CHECKED BY: JAA

APPROVED BY: JAA

SHEET TITLE

SITE PLAN

SP07

SHEET 11 OF 11

PCD FILE NO.

SKETCH PLAN NOTES:

1. THE SKETCH PLAN AMENDMENT IS ADOPTING THE GENERAL LAND USE CONCEPT AND OVERALL PUD DEVELOPMENT & PHASING PLAN (RECEPTION NO. 20035127, MARCH 9, 2006). THE DENSITY RANGES ADOPTED WILL BE USED TO ESTABLISH A MAXIMUM DENSITY WITHIN THAT RANGE FOR INDICATED PORTIONS OF THE SITE, DEPENDING ON THE ULTIMATE PROVISION OF OPEN SPACE AND THE DESIGN OF THE HIGHER DENSITY AREAS.
2. THE MINOR SKETCH PLAN AMENDMENT WILL BE DEVELOPED IN ACCORDANCE WITH THE DEVELOPMENT AGREEMENT FOR LORSON RANCH, AS AMENDED.
3. THE APPLICANT SHALL WORK WITH EL PASO COUNTY PARKS DEPARTMENT WITH FUTURE SUBMITTALS TO DETERMINE ACREAGE AND ACCEPTABLE LOCATIONS FOR PARK AREA OR AREAS AS REQUIRED. THE OPEN SPACE AS SHOWN MEETS THE REQUIREMENTS FOR ALL OF LORSON RANCH.
4. BUFFERING BETWEEN THE COMMERCIAL AND RESIDENTIAL USES SHALL BE REFLECTED WITH ANY ZONING AND DEVELOPMENT PLAN REQUEST FOR THE COMMERCIAL PROPERTIES. BUFFERING SHALL BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
5. BUFFERING OF THE HIGHER DENSITY RESIDENTIAL USES FROM INDUSTRIAL, LOWER DENSITY RESIDENTIAL USE, PROPOSED COMMERCIAL USES AND USES ADJACENT TO MARKSHEFFEL ROAD, FONTAINE BLVD. AND MERIDIAN ROAD CAN BE THROUGH THE USE OF SETBACKS, BERMS, LANDSCAPING AND OPAQUE SCREENING. CREATIVE LANDSCAPE DESIGN IS ENCOURAGED BUT IN NO INSTANCE SHALL THE MINIMUM BUFFERING AND LANDSCAPE REQUIREMENT BE LESS THAN THAT REQUIRED IN THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. THE BUFFERING/LANDSCAPING SHALL BE INCLUDED WITH ANY REZONING REQUESTS. SAID BUFFERS SHALL BE EXCLUSIVE OF ANY LOT AREA(S).
6. THE MAXIMUM TOTAL RESIDENTIAL DENSITY SHALL NOT EXCEED THE 6,500 UNITS AS SHOWN WITHOUT REVIEW AND SUBSEQUENT APPROVAL OF A MAJOR AMENDMENT TO THE SKETCH PLAN.
7. CLUSTERING OF UNITS AND DENSITY TRANSFERS WITHIN RESIDENTIAL DISTRICTS IS PERMITTED SO LONG AS THE OVERALL DENSITY LIMIT IS NOT EXCEEDED. THE USE OF CLUSTERING IS ENCOURAGED TO PROMOTE COMMON OPEN SPACE, PROTECT NATURAL FEATURES, AND PROVIDE CREATIVE AND FLEXIBLE DESIGN SOLUTIONS.
8. CONSTRUCTION SHALL OBSERVE A MINIMUM SETBACK OF 20 FEET FROM THE BREAK IN SLOPE OF JIMMY CAMP CREEK AND THE EAST TRIBUTARY OF JIMMY CAMP CREEK, BOTH FOR PROTECTION AGAINST EROSION DURING FLOODS, AND TO PREVENT EROSION OF THE BANKS AS A RESULT OF DEVELOPMENT.
9. INFORMATION AVAILABLE AT THE TIME OF THIS AMENDMENT: FINAL DETERMINATIONS OF ALL ROAD CLASSIFICATIONS AND NECESSARY RIGHTS-OF-WAY WILL BE MADE AT THE PRELIMINARY PLAN STAGE WHEN MORE DETAILED LAND USE, TRAFFIC AND ROAD DESIGNS ARE AVAILABLE. CHANGES TO ROAD CLASSIFICATION, NECESSARY RIGHTS-OF-WAY WIDTHS, AND CHANGES IN ALIGNMENT SHALL NOT REQUIRE A NEW SKETCH PLAN AMENDMENT.
11. THE LORSON RANCH BOULEVARD RIGHT-OF-WAY FROM MARKSHEFFEL ROAD TO STINGRAY LANE TO BE BETWEEN 80'-100' IN WIDTH DEPENDING ON FINAL TRAFFIC COUNTS. THE FINAL RIGHT-OF-WAY WIDTH SHALL BE DETERMINED WITH FUTURE DEVELOPMENT SUBMITTALS. A DEVIATION MAY BE REQUIRED TO REDUCE THE WIDTHS AND DEDICATIONS OF THE RIGHT-OF-WAY.

GENERAL NOTES:

1. EXISTING ZONING IS PUD- PLANNED UNIT DEVELOPMENT (EL PASO COUNTY).
2. SCHOOL DISTRICT: WIDEFIELD SCHOOL DISTRICT NO. 3.
3. UTILITY PROVIDERS:
 - 3.1. WATER & SEWER: WIDEFIELD WATER & SANITATION DIST.
 - 3.2. ELECTRICAL POWER: MOUNTAIN VIEW ELECTRIC ASSOCIATION
 - 3.3. GAS: BLACK HILLS ENERGY
4. FIRE PROTECTION: SECURITY FIRE PROTECTION DISTRICT
5. POLICE PROTECTION: EL PASO COUNTY SHERIFF'S DEPT.
6. COMMERCIAL SITES TOTALING 10 ACRES ARE ALLOWED WITHIN LORSON RANCH BETWEEN MARKSHEFFEL ROAD AND JIMMY CAMP CREEK.
7. COMMERCIAL USES SHALL BE PERMITTED TO DEVELOPED INDEPENDENT OF THE PHASING PLAN.
8. A 25 ACRE SCHOOL SITE IS BEING PROVIDED AT THE NORTHEAST CORNER OF FONTAINE BOULEVARD AND FUTURE COLLECTOR ROAD AS SHOWN ON THE SKETCH PLAN. THIS 25 ACRES WILL BE DEDICATED VIA FUTURE PLATTING PROCEDURES. THE FINAL SHAPE AND LAYOUT WILL BE DETERMINED WITH FUTURE SCHOOL SITE PLANNING.
9. THE EXISTING LORSON RANCH METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF PARKS, OPEN SPACE, COMMON AREAS, COMMON LANDSCAPE PLANTINGS AND OTHER PUBLIC AREAS.
10. THIS PROJECT WILL DETAIN STORMWATER RUN-OFF TO HISTORIC FLOODS.
11. ROAD RIGHTS-OF-WAY WILL BE DEDICATED AS NECESSARY.
12. ALL FUTURE ROAD RIGHTS-OF-WAY ARE CONCEPTUAL ONLY AND ARE PERMITTED TO BE MODIFIED UNTIL FINAL PLATTING SO LONG AS THE GENERAL LOCATION, SIZE AND ACCESS INTENT ARE MAINTAINED.
13. THE SOUTH WESTERN MOST INTERSECTION OF MARKSHEFFEL ROAD AND LORSON RANCH BOULEVARD WILL BE A FULL MOVEMENT INTERSECTION.
14. THE NORTH WESTERN MOST INTERSECTION WITHIN CARRIAGE MEADOWS WILL BE A FULL MOVEMENT INTERSECTION.
15. THE NORTH EASTERN MOST INTERSECTION WITH LORSON RANCH AND MERIDIAN ROAD WILL BE A FULL MOVEMENT INTERSECTION.
16. THE DEVELOPER AGREES TO ABIDE BY EXTERIOR LIGHTING POLICIES AND REGULATIONS IN EXISTENCE IN THE COUNTY AT THE TIME OF PLATTING.

OPEN SPACE:

1. OPEN SPACE REQUIRED, AND TO BE PROVIDED AT FULL BUILD OUT, FOR THE LORSON RANCH PROJECT IS 212 TOTAL ACRES (15%). TOTAL OPEN SPACE REQUIREMENTS WILL RANGE BETWEEN 192-212 TOTAL ACRES. THE DEVELOPER ANTICIPATES OBTAINING THE 22 REQUIRED ACRES EITHER BY DESIGNATED OPEN SPACE, LAND DEDICATION OR A COMBINATION OF LAND DEDICATION AND FEES IN LIEU OF LAND DEDICATION.
2. TOTAL OPEN SPACE PROVIDED TO DATE IS 217.4 ACRES OR 15.4%. THE OPEN SPACE CONSISTS OF PARKS, PLAYGROUNDS, NATURAL OPEN SPACE, TRAILS, JIMMY CAMP CREEK MAIN CHANNEL, OPEN SPACE, JIMMY CAMP CREEK EAST TRIBUTARY OPEN SPACE, THE POWER LINE EASEMENT OPEN SPACE, SOUTHERN DELIVER SYSTEM EASEMENT OPEN SPACE WITHIN LORSON RANCH, THE FUTURE SCHOOL SITE AND THE FOUNTAIN MUTUAL IRRIGATION COMPANY DITCH EASEMENT OPEN SPACE.
3. PARKS, PLAYGROUNDS, TRAILS, ETC. MAY BE PLACED WITHIN ANY OPEN SPACE AREAS PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
4. FUTURE OPEN SPACE AND PARK SITE AREAS MAY BE INCLUDED WITH FUTURE DEVELOPMENTS AS DETAILED DESIGN TAKES PLACE, INCREASING THE TOTAL OPEN SPACE ACREAGE PROVIDED.
5. PHYSICAL OPEN SPACE OR PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO LAND DEDICATION AND/ OR FEES IN LIEU OF LAND DEDICATION REQUIREMENTS AS APPROVED BY EL PASO COUNTY.

LORSON RANCH

MINOR SKETCH PLAN AMENDMENT

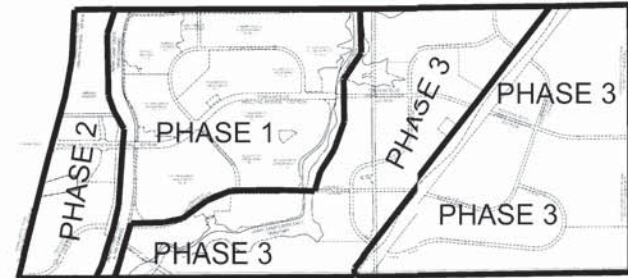
A PORTION OF TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO.

GENERAL LAND DESCRIPTION - SKETCH PLAN

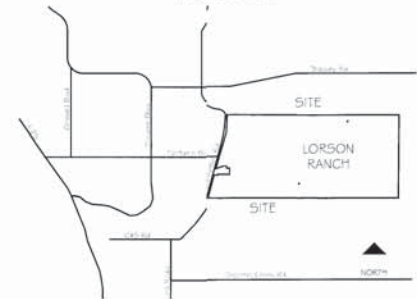
A TRACT OF LAND BEING ALL THAT PART OF THE NORTH ONE-HALF (N1/2) OF SECTION 23, THE NORTH ONE-HALF (N1/2) OF SECTION 24, THE SOUTH ONE-HALF (S1/2) OF SECTION 13, THE SOUTH ONE-HALF (S1/2) OF SECTION 14, THAT PORTION OF THE SOUTHEAST ONE-QUARTER (SE1/4) OF SECTION 15 LYING EASTERLY OF THE EASTERLY RIGHT-OF-WAY LINE OF THE COUNTY ROAD KNOWN AS MARKSHEFFEL ROAD AND THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 22 LYING EASTERLY OF THE EASTERLY RIGHT-OF-WAY LINE OF SAID MARKSHEFFEL ROAD, EXCEPT ANY PORTION OF LOT 2 OF BROWNSVILLE SUBDIVISION NO. 2, AS RECORDED IN PLAT BOOK H-6 AT PAGE 81 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, ALL LYING WITHIN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO.

SAID TRACT OF LAND CONTAINS 1,412 ACRES OF LAND, MORE OR LESS.

PHASING PLAN



VICINITY MAP



SKETCH PLAN SITE DATA

LAND USE	ACRES±	%	TOTAL EVS	GROSS DUA/C
JIMMY CAMP CREEK MAIN CHANNEL (OPEN SPACE)	36.1	2.6		
JIMMY CAMP CREEK EAST TRIBUTARY (OPEN SPACE)	98.9	4.0		
POWER LINE EASEMENT (OPEN SPACE)	50.3	3.6		
COS SOUTHERN DELIVERY SYSTEM (SDE) EASEMENT (OPEN SPACE)	7.4	0.5		
FMCA DITCH EASEMENT (OPEN SPACE)	9.2	0.6		
MVEA ELECTRICAL SUBSTATION	2.0	0.1		
OPEN SPACE (OPEN SPACE) TRAILS/PARKS/DETENTION FACILITIES	23.9	2.4		
COMMERCIAL	95.2	33.9		
DEDICATED SCHOOL SITE (OPEN SPACE)	25.0	5.2		
RH- RESIDENTIAL HIGH DENSITY (EXISTING)	9.2	0.4	46	7-10 DU/AC
RHM- RESIDENTIAL MEDIUM HIGH DENSITY (EXISTING)	26.7	1.9	204	7-10 DU/AC
RM- RESIDENTIAL MEDIUM DENSITY (EXISTING)	294.4	20.9	1,320	4-6 DU/AC
RLM- LOW MEDIUM RESIDENTIAL FOR SF RES. (PROPOSED)	551.9	1.8	3,147	4-6 DU/AC
RM- MEDIUM RESIDENTIAL FOR SF RES. (PROPOSED)	185.8	1.8	1,580	7-10 DU/AC
RHM- MEDIUM HIGH RESIDENTIAL FOR SF OR MF RES. (PROPOSED)	14.9	3.1	183	10-13 DU/AC
ROADWAY RIGHT-OF-WAY (EXISTING)	30.5	2.2		
ROADWAY RIGHT-OF-WAY (PROPOSED)	66.2	4.7		
TOTALS	1,412	100%	6,500	4-6 DU/AC

Existing Development includes completed or in-progress developments as follows:
Ponderosa Flings 1 & 2, Townhomes at Lorson Ranch, Buffalo Crossing Flings 1 & 2, Pioneer Landing Flings 1 & 2, The Meadows Flings 1-4, and Carriage Meadows Fling 1.

NOTE:
PROJECTED GROSS UNIT COUNTS ARE CALCULATED BY MULTIPLYING THE RESIDENTIAL GROSS DENSITY USE BY THE ACREAGE.

DEVELOPMENT STANDARDS AND GUIDELINES

- RL- LOW RESIDENTIAL WITH A GROSS DENSITY (1-2 DU/AC) FOR RURAL RESIDENTIAL UNITS.
- RLM- LOW/M MEDIUM RESIDENTIAL WITH A GROSS DENSITY (4-6 DU/AC) FOR SINGLE FAMILY RESIDENTIAL LOTS.
- RM- MEDIUM RESIDENTIAL WITH A GROSS DENSITY (7-10 DU/AC) FOR SINGLE FAMILY RESIDENTIAL LOTS.
- RHM- MEDIUM/ HIGH RESIDENTIAL WITH A GROSS DENSITY (10-13 DU/AC) FOR SINGLE OR MULTI FAMILY RESIDENTIAL LOTS.
- RH- HIGH RESIDENTIAL WITH A GROSS DENSITY (17-20 DU/AC) FOR MULTI-FAMILY RESIDENTIAL UNITS.
- COMM - COMMERCIAL RELATED USES

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

This Minor Sketch Plan Amendment was approved by the Director of Development Services of El Paso County, Colorado on the 21ST day of April, 2016.

[Signature]
Director, Development Services Department

4/21/16
Date

PREPARED BY:

CONCRETE SOLUTIONS, INC.
2500 N. WATSON DRIVE
SUITE 100
EL PASO, TEXAS 79901
TEL: 915.763.1111
WWW.CONCRETE-SOLUTIONS.COM

DESIGNED BY:

THOMAS & THOMAS, INC.
4000 W. JIMMY CAMP CREEK
SUITE 100
EL PASO, TEXAS 79901
TEL: 915.763.1111
WWW.THOMAS-AND-THOMAS.COM

DSD FILE NO.: SKP-15-001

Lorson Ranch

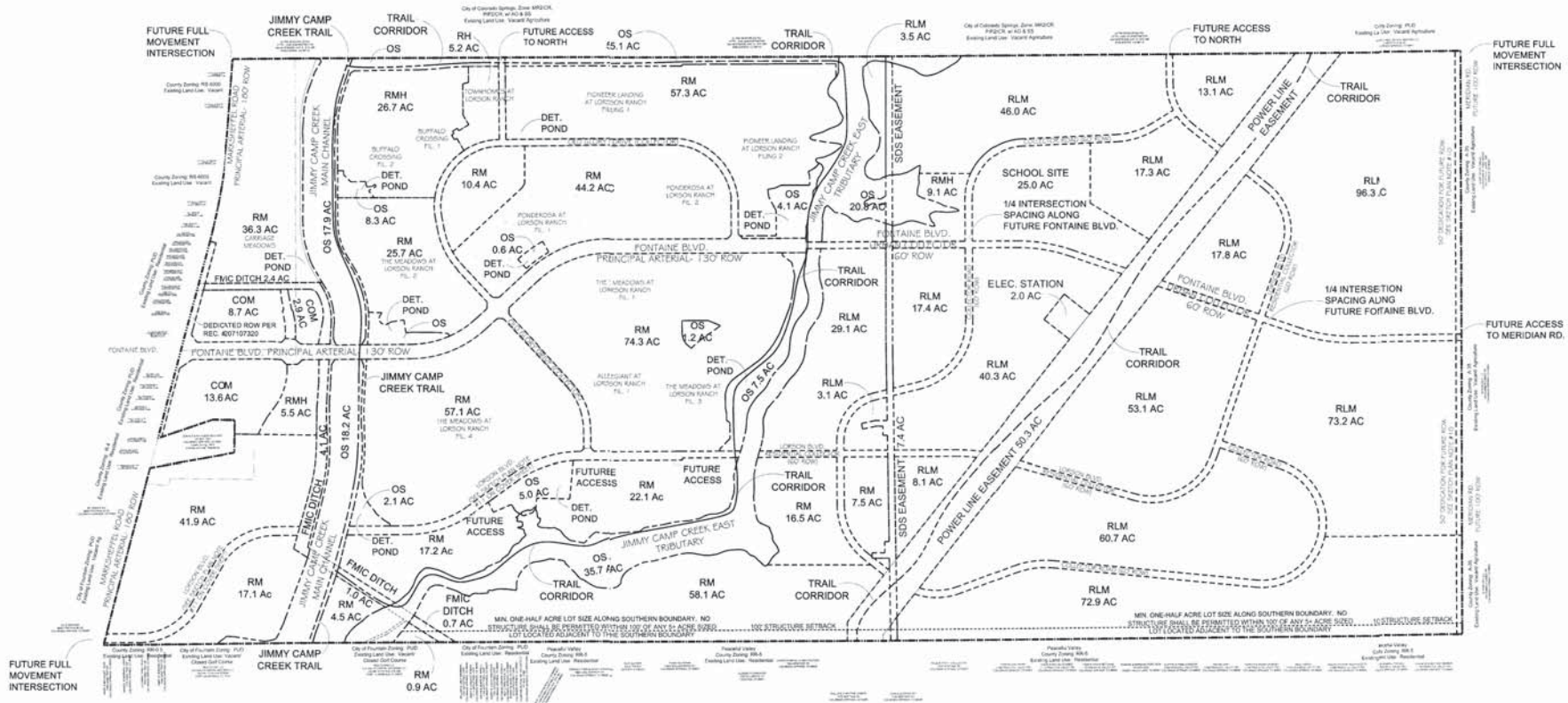
Colorado Springs, CO
Sketch Plan Amendment

SP1

of 2

LORSON RANCH MINOR SKETCH PLAN AMENDMENT

Provided as background information



DEVELOPMENT STANDARDS AND GUIDELINES
 RL - LOW RESIDENTIAL WITH A GROSS DENSITY (1-2 DU/AC) FOR RURAL-RESIDENTIAL UNITS.
 RLM - LOW/MEDIUM RESIDENTIAL WITH A GROSS DENSITY (4-6 DU/AC) FOR SINGLE FAMILY RESIDENTIAL LOTS.
 RM - MEDIUM RESIDENTIAL WITH A GROSS DENSITY (7-10 DU/AC) FOR SINGLE FAMILY RESIDENTIAL LOTS.
 RMH - MEDIUM/HIGH RESIDENTIAL WITH A GROSS DENSITY (10-13 DU/AC) FOR SINGLE OR MULTI FAMILY RESIDENTIAL LOTS.
 RH - HIGH RESIDENTIAL WITH A GROSS DENSITY (17-20 DU/AC) FOR MULTI-FAMILY RESIDENTIAL UNITS.
 COMM - COMMERCIAL RELATED USES

NORTH
 SCALE: 1" = 500'
 DSD FILE NO.: SKP-15-001

REV #	REVISIONS	DATE	DRAWN	CHECKED	APPROVED
1	UPDATED PLAN PER COMMENTS	2/5/16	JRA		
2	COUNTY COMMENTS	3/21/16	JRA		
3	COUNTY COMMENTS	4/14/16	JRA		
4					
5					
6					

Lorson Ranch
 Colorado Springs, CO
 Sketch Plan Amendment

SP2 of 2

provided as background information

Figure 3 – Lorson Ranch Map



El Paso County Park Advisory Board

Agenda Item Summary Form

Agenda Item Title: Cloverleaf Subdivision Preliminary Plan and Rezone

Agenda Date: July 8, 2020

Agenda Item Number: #6 - B

Presenter: Ross Williams, Park Planner

Information: **Endorsement:** X

Background Information:

This is a request for approval by N.E.S., Inc., on behalf of PT Cloverleaf, LLC., of the Cloverleaf Subdivision Preliminary Plan and Rezone. The site is located east of Monument, northeast of the intersection of Higby Road and Jackson Creek Parkway, and nearly adjacent Lewis-Palmer High School. The property consists of 37.22 acres, with 150 residential and 12 open space tracts, with a minimum lot size of 6000 sf. The site is currently zoned RS-20000, however, a rezone application to RS-5000 is being processed concurrently. The subdivision is located within the bounds of the 2000 Tri-Lakes Comprehensive Plan area.

The 2013 El Paso County Parks Master Plan shows no regional trails running through or directly adjacent to the proposed subdivision. The proposed Jackson Creek Regional Trail is located 0.35 mile to the east of the project site, while the Cherry Creek Regional Trail and Highway 105 Bicycle Route are both located 0.60 mile north of the property. The existing New Santa Fe Regional Trail is located 0.75 mile to the west of the property. Cloverleaf Subdivision does not lie within any candidate open space area.

Although the proposed subdivision is not subject to the El Paso County Land Development Code's PUD 10% open space requirement, the Cloverleaf Subdivision Preliminary Plan shows 6.66 acres of open space dedicated to drainages, utilities, public open areas, and trails, and provides for 18% of open space within the development. As no trail easements dedications are necessary for this filing, Parks staff recommends fees in lieu of land for regional and urban park purposes in the amounts shown below.

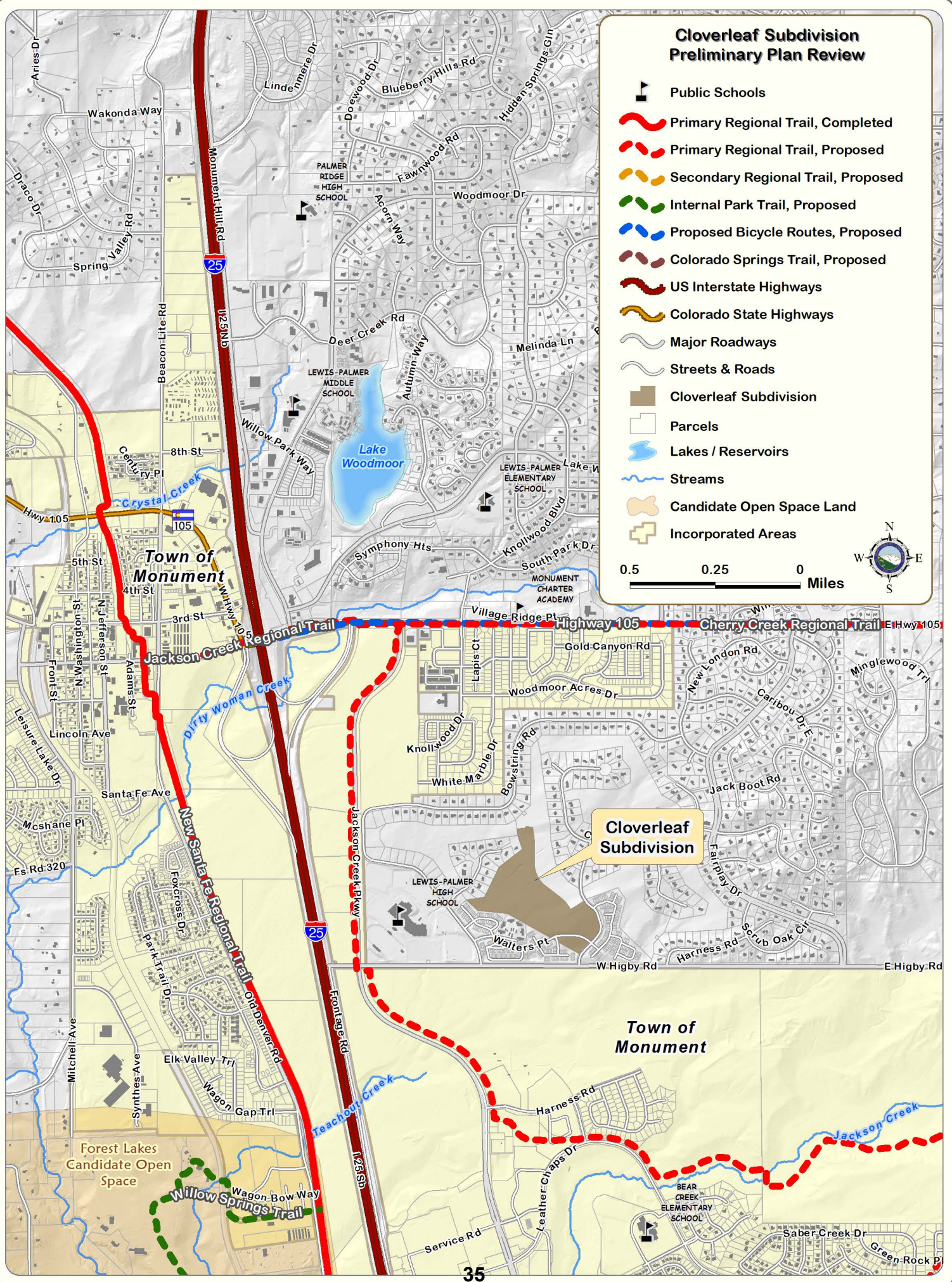
Recommended Motion (Preliminary Plan):

The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Cloverleaf Subdivision Preliminary Plan: require fees in lieu of land dedication for regional park purposes in the amount of \$70,050 and urban park fees in the amount of \$44,250.

Cloverleaf Subdivision Preliminary Plan Review

- Public Schools
- Primary Regional Trail, Completed
- Primary Regional Trail, Proposed
- Secondary Regional Trail, Proposed
- Internal Park Trail, Proposed
- Proposed Bicycle Routes, Proposed
- Colorado Springs Trail, Proposed
- US Interstate Highways
- Colorado State Highways
- Major Roadways
- Streets & Roads
- Cloverleaf Subdivision
- Parcels
- Lakes / Reservoirs
- Streams
- Candidate Open Space Land
- Incorporated Areas

0.5 0.25 0 Miles



Development
Application
Permit
Review



COMMUNITY SERVICES DEPARTMENT

Park Operations - Community Outreach - Environmental Services
Veterans Services - Recreation / Cultural Services

July 8, 2020

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	Cloverleaf Subdivision Preliminary Plan	Application Type:	Preliminary Plan
PCD Reference #:	SP-20-002	Total Acreage:	37.22
		Total # of Dwelling Units:	150
Applicant / Owner:	Owner's Representative:	Dwelling Units Per 2.5 Acres:	10.08
PT Cloverleaf, LLC	NES, Inc.	Regional Park Area:	2
Joseph DesJardin	Andrea Barlow	Urban Park Area:	1
1864 Woodmoor Drive, Suite 100	619 North Cascade Avenue	Existing Zoning Code:	RS-20000
Moument, CO 80132	Colorado Springs, CO 80903	Proposed Zoning Code:	RS-5000

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.		The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.	
LAND REQUIREMENTS		Urban Density (≥ 1 Dwelling Unit Per 2.5 Acres): YES	
Regional Park Area: 2		Urban Park Area: 1	
0.0194 Acres x 150 Dwelling Units = 2.910		Neighborhood:	0.00375 Acres x 150 Dwelling Units = 0.56
Total Regional Park Acres: 2.910		Community:	0.00625 Acres x 150 Dwelling Units = 0.94
		Total Urban Park Acres: 1.50	
FEE REQUIREMENTS			
Regional Park Area: 2		Urban Park Area: 1	
\$467 / Dwelling Unit x 150 Dwelling Units = \$70,050		Neighborhood:	\$116 / Dwelling Unit x 150 Dwelling Units = \$17,400
Total Regional Park Fees: \$70,050		Community:	\$179 / Dwelling Unit x 150 Dwelling Units = \$26,850
		Total Urban Park Fees: \$44,250	

ADDITIONAL RECOMMENDATIONS

Staff Recommendation: The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Cloverleaf Subdivision Preliminary Plan: require fees in lieu of land dedication for regional park purposes in the amount of \$70,050 and urban park fees in the amount of \$44,250.

Park Advisory Board Recommendation:

CLOVERLEAF: REZONE AND PRELIMINARY PLAN

LETTER OF INTENT

JUNE 2020

APPLICANT AND PROPERTY OWNER

PT Cloverleaf, LLC
1864 Woodmoor Drive, Suite 100
Monument, Colorado 80132

CONSULTANT:

N.E.S. Inc.
619 North Cascade Avenue
Colorado Springs, CO 80903

REQUEST

PT Cloverleaf, LLC requests approval of the following applications:

1. A rezone of 37.22 acres from RS-20000 (Residential Suburban District; 20,000 square feet) to RS-5000 (Residential Suburban District; 5,000 square feet);
2. A Preliminary Plan for Cloverleaf, consisting of 3 lots under the existing RS-20000 zoning, and 147 lots under the proposed RS-5000 zoning, on approximately 38.73 acres. To include:
 - a. Administrative relief for lots 1-5, 50-52, 84-85, 91-96, 99-117, 119-127, and 145-147 to allow a maximum 50% lot coverage for ranch plans.
 - b. The following Waivers of the Land Development Code requirements:
 - 8.4.4.E.2 – private roads require a waiver
 - 8.4.4.E.3 – private roads to meet County standardsThis relates to the existing Walters Point private road, which is to be retained and improved as part of this project.
3. Pre-development grading for entire Preliminary Plan area.
4. A finding of water sufficiency with the Preliminary Plan and subsequent Final Plats to be administratively approved.

The justification for these requests is provided in this Letter of Intent.

SUPPORTING DOCUMENTS

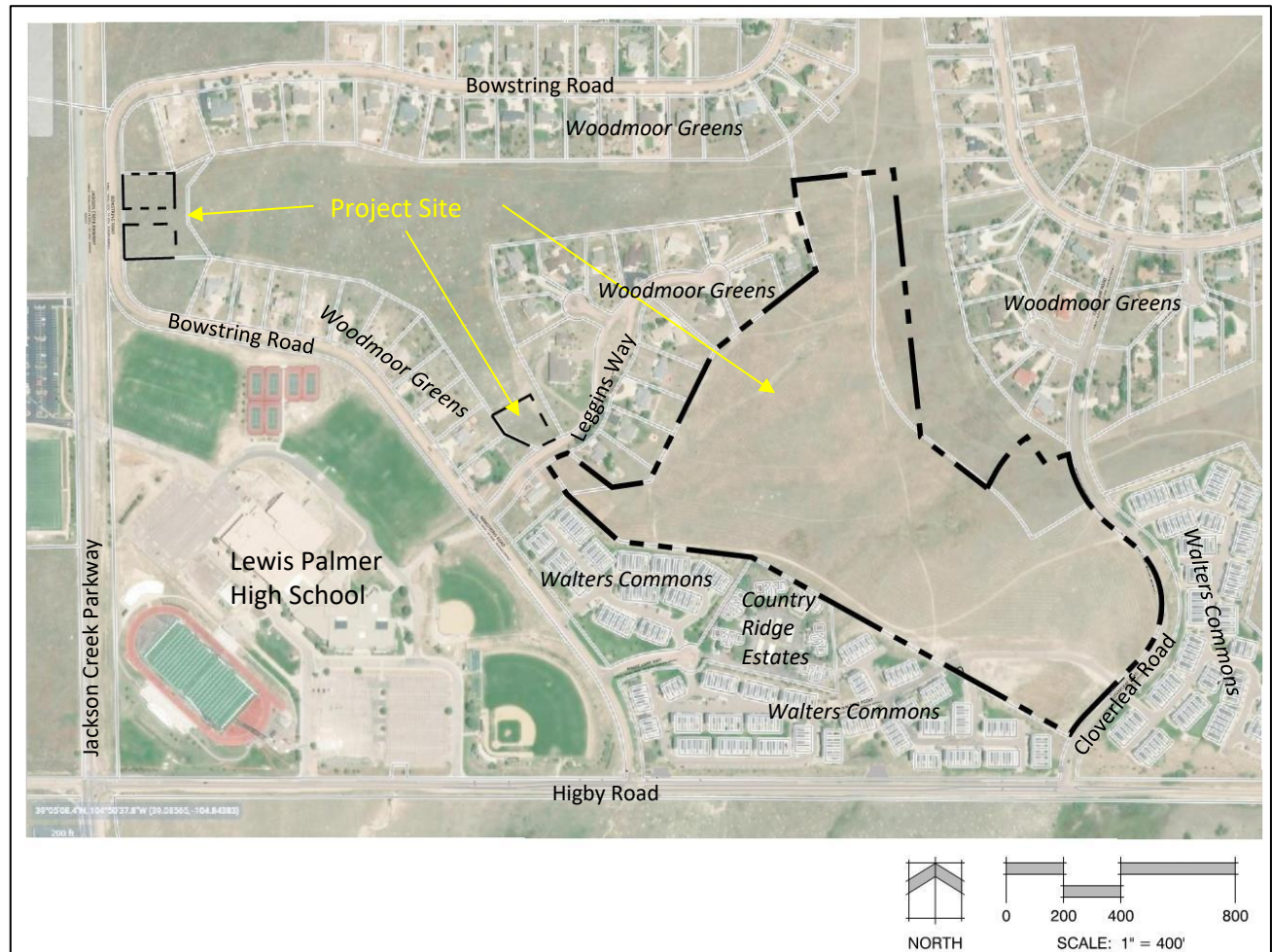
The following reports are submitted in support of this Preliminary Plan and are referenced in this Letter of Intent:

- Traffic Impact Study prepared by Kellar Engineering
 - Soils, Geology and Geologic Hazard Study prepared by Entech Engineering, Inc.
 - Preliminary Subsurface Soil Investigation Report prepared by Entech, Engineering, Inc.
 - Natural Features and Wetlands Report prepared by Bristlecone Ecology
 - Preble's Meadow Jumping Mouse Disqualification letter prepared by Monument Hill CM, LLC
 - Water Resources and Water Quality Report prepared by JR Engineering, LLC
 - Wastewater Disposal Report prepared by JR Engineering, LLC
 - Preliminary Drainage Report prepared by JR Engineering, LLC
-

SITE LOCATION AND DESCRIPTION

The proposed Cloverleaf Subdivision is located northeast of the intersection of Jackson Creek Parkway and Higby Road, northwest of Cloverleaf Road, and bounded by existing residential developments on three sides. The northern/northeast boundary of the site abuts existing open space. The surrounding properties include:

- **North, West and East:** Woodmoor Greens single-family residential subdivision.
- **East:** Cloverleaf Road with Walters Commons townhome subdivision adjacent.
- **South:** Walters Commons and Country Ridge Estates townhome subdivisions.



The site is currently vacant and undeveloped, consisting of flat to rolling foothills grasslands. The existing ground cover is sparse vegetation and open space, typical of a Colorado rolling range land condition. The site is generally gently to gradually sloping from northeast to southwest with some moderate slopes along a small ridge in the southeast part of the site. Teachout Creek is mapped in the USFWS National Wetland Inventory (NWI) and USGS National Hydrography Dataset (NHD) data as a stream in the northwest portion of the site, but does not exist as depicted.

PROJECT DESCRIPTION

Cloverleaf is a 38.73-acre development, 37.22 acres of which is proposed to be rezoned as 147 urban density single-family residential lots and associated infrastructure. The remaining 1.51 acres is proposed as three isolated ½ acre lots under the existing RS-2000 zoning project.

Project Background

The 37.22-acres is an undeveloped parcel that forms part of Tract B of the Woodmoor Placer subdivision, platted in 1972. The surrounding Woodmoor Greens Subdivision was also platted in 1972. The two proposed lots ½ acre lots on the west side of the project area fronting Bowstring Road (lots 147 and 148) were originally platted as lots at that time. As part of the replat of Lots 496-500 Woodmoor Greens, these lots were included in a Tract. The proposed ½ acre lot adjacent to Leggins Way (lot 146) was, and is still part, of the original Woodmoor Greens plat.

The tracts that formed part of the Woodmoor Placer and Woodmoor Greens subdivisions were originally envisioned as a golf course. This use did not come to fruition and the areas remain vacant. Over the years these undeveloped parcels have been enjoyed by local residents as open space and a number of informal trails have formed through the area.

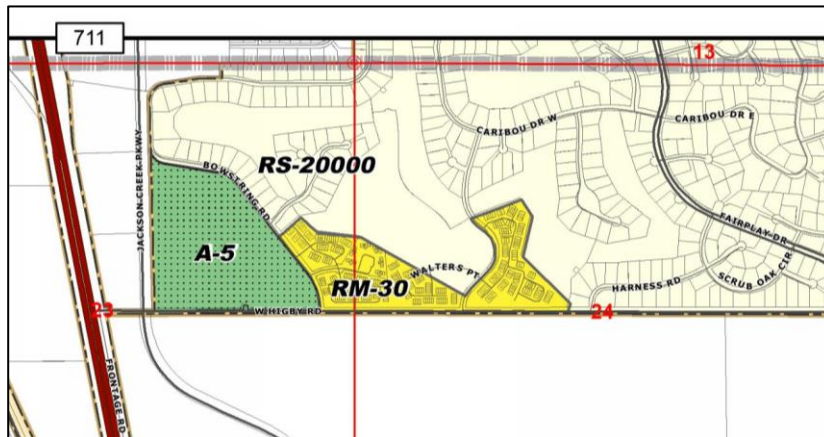
A group of local residents formed the Woodmoor Open Space Coalition (WOSC) with the intent of purchasing the 100 acres of undeveloped tracts in this area as public open space use from the current owners, the Gary E Walters Trust and the Walters Family Partnership LLLP. The Walters family representatives agreed to the sale of 70-acres as open space, provided at least 30-acres were developed for residential lots. In order to raise the funds for this land purchase, WOSC will simultaneously sell small portions of the open space to individual adjacent lot owners as extensions of their lots. The replat to accomplish this will be submitted separately by WOSC but concurrently with this submittal by PT Cloverleaf, LLC. The purchase of the three ½ acre lots by PT Cloverleaf, LLC is also an integral part of the funding to enable WOSC to purchase the open space.

Zone Change

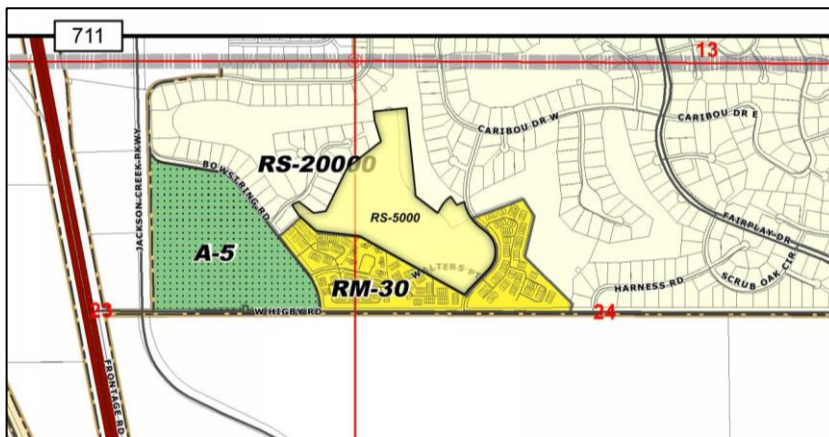
A Zone Change is being requested for the 147 lots on approximately 37.22 acres located southeast of Leggins Way and northwest of Cloverleaf Road. The property is currently zoned RS-20000 (Residential Suburban District). Adjacent zoning to the south is RM-30 (Residential Multi-Family) and the Lewis Palmer High School to the southwest is zoned A-5 (Agricultural).

The request is to rezone this to RS-5000 (Residential Suburban District) to accommodate lots of a minimum of 5,000 square feet.

EXISTING ZONING



PROPOSED ZONING



Preliminary Plan

The request is for a Preliminary Plan for Cloverleaf, a single family-development comprised of 150 lots on approximately 38.73 acres, open space tracts, stormwater detention facilities, and associated infrastructure. Cloverleaf will be split into two distinct areas; Lot 1 – Lot 147 will be an urban subdivision proposed for RS-5000 zoning; Lots 148, 149, 150 will be suburban lots consistent with the existing RS-20000 zoning. Density and dimensional standards for the RS-5000 and RS-20000 set forth in the Land Development Code (“LDC”) have been adhered to as follows:

Zone	Min. Lot Frontage	Min. Front Setback	Min. Rear Setback (Accessory Use)	Min. Side Setback	Max. Lot Coverage	Max. Building Height
RS-5000	50 ft	25 ft	25 ft (5 ft)	5 ft	40/45%*	30 ft
RS-20000	100 ft	40 ft	40 ft (15 ft)	10 ft	20%	30 ft

*Where a single-story ranch style residence is proposed, the maximum lot coverage may be 45% of the total lot area

Access and Traffic

The project site is located at the northeast quadrant of the intersection of Higby Road and Bowstring Road, southeast of Monument, CO. Access to the development is from two existing full-movement intersections to Higby Road (Higby Road/Bowstring Road and Higby Road/Cloverleaf Road). Higby Road is classified as a collector in the 2040 Major Transportation Corridors Plan (MTCP). Higby Road has been identified by the MTCP as a 'county road improvement' project from Cloverleaf Road to Rollercoaster Road to be completed by 2040. The existing perimeter roads, Bowstring Road, Cloverleaf Road, and Leggins Way, have already been constructed with previous development. Bowstring Road, Cloverleaf Road and Leggins Way are classified as existing local streets. Walters Point is an existing private street that serves the Walters Common townhomes via an access easement across the Cloverleaf property

Lots 149 and 150 will take direct access off Bowstring Road. Access for Lot 148 will be off Leggins Way. White Clover Drive, a new access off Leggins Way, will provide the western access for Lots 1-141. Crimson Clover Drive, a new access off Cloverleaf Road, will provide access to these lots from the east. A Deviation is being request for the intersection of Cloverleaf Road and Crimson Clover Lane as the slope of Cloverleaf Road at this point is slightly greater than 4%.

Access for Lots 142-147 will be off Walters Point, which will also continue to provide a second point of access from Cloverleaf Road to the Walters Comments subdivision. Walters Point will remain a private road, and a Waiver from the LDC and Engineering Criteria Manual (ECM) is requested to permit this. This private road will also be partially upgraded to the County's Local (Low Volume) Road design, with some exceptions for which deviations from the ECM standards are requested relating to sidewalk provision, a reduced vertical curve, and use of a non-standard curb section.



Open Space and Trails

Approximately 70-acres of public open space is being purchased from the Walters family by WOSC for the benefit of this project and the surrounding subdivisions. This project directly facilitates the ability of WOSC to purchase this open space area. In addition, the project proposes a number of internal open space tracts throughout the development. Trails are located in some of these open space tracts to provide a recreational amenity and to connect to the internal street sidewalks. The open space tracts will be owned and maintained by the Metropolitan District to be formed for the Cloverleaf Development. Park land dedication or fees in lieu of land dedication will be due at the time of final plat recordation.

Drainage

The Preliminary Drainage Report prepared by JR Engineering notes that there are no major drainageways on the site. Cloverleaf lies within the upper reaches of the Teachout Creek watershed basin. Drainage from the site currently discharges both west through existing culverts to Lewis Palmer High School and south under Higby Road through existing culverts. The proposed Cloverleaf Subdivision development drainage improvements, including storm sewer and two full spectrum water quality and detention ponds designed to meet El Paso County Drainage Criteria, which includes absorbing off-site flows and releasing at historic rates. The proposed development will not adversely affect the offsite drainageways or surrounding development.

Utilities

Water: The Water Resources and Wastewater Report prepared by JR Engineering estimates average and peak water demand and provides Woodmoor Water and Sanitation District (WWSD) with required data to enable the District to model the water demands. Woodmoor Water and Sanitation District has various easements for both sanitary and water lines that run parallel to existing property lines or cross the site. The primary water distribution system for Cloverleaf will be connected to the existing Woodmoor Water and Sanitation District (WWSD) water at two locations. The eastern connection is the existing 6" water main within Cloverleaf Drive. The western connection will be to the existing 6" water main in Leggins Way. The development can either install 6" diameter mains or 8" diameter water mains depending on the results of WWSD's modeling of the system. A commitment letter from the WWSD to provide water service to the Cloverleaf Subdivision is included with this submittal.

Wastewater: The Wastewater Disposal Report prepared by JR Engineering notes that the WWSD is situated to serve the proposed development. The site is tributary to the Tri-Lakes wastewater treatment plant. The sanitary sewer system, design, and modeling results conform to all applicable criteria set forth by El Paso County and the WWSD and no waivers are required. A commitment letter from the WWSD to provide wastewater service to the Cloverleaf Subdivision is included with this submittal.

Gas: Natural Gas Distribution Service will be provided by Black Hills Energy. A Will Serve letter is included with this submittal.

Electric: Electric Service will be provided by Mountain View Electric Association (MVEA). A Will Serve letter is included with this submittal.

Topography

Topography of the site consists of flat to rolling foothills grasslands about a half mile from the pine-oak woodlands of the Black Forest to the northeast. According to the U.S. Geological Survey's, Topographic Map of Monument, CO Quadrangle, the subject property has an approximate median elevation of 7,077 feet above sea level. The site is generally gently to gradually sloping from northeast to southwest with some moderate slopes along a small ridge in the southeast part of the site.

Vegetation

Bristlecone Ecology (Bristlecone) prepared a Natural Feature and Wetlands Report for this project. The vegetation on the site is predominantly grassland, with a few patches of shrubs and one Ponderosa Pine near the northwest boundary. Much of the site has been previously disturbed and vegetative cover has been reestablished across the site but with little diversity and poorly developed structure. There are several informal social trails crisscrossing the site. According to Bristlecone, development of the site will likely increase and improve arboreal habitat through the planting of trees in yards and in open spaces.

Noxious Weeds

Bristlecone noted that noxious weeds are present on the site in several areas but generally in limited quantities. The greatest concentration of noxious weeds was found along the ditch near the northern border of the project area. Noxious weeds are defined as those non-native plants that aggressively invade and are detrimental to native vegetation communities and ecosystems.

A Noxious Weed Management Plan has been prepared for the project by Bristlecone for the project site detailing recommendations for identifying and controlling the spread of noxious weeds prior to, during, and/or post-construction. Weed control prior to and during construction shall take place to eliminate weeds and to prevent introducing new weeds. Following construction, the Metropolitan District will be responsible for weed control in the open areas. Individual homeowners will be responsible for weed control on their lots.

Floodplain

Based on the FEMA Firm Map Number 08041CO278G, revised December 7, 2018, the entire development is located within Zone X, or areas area outside the Special Flood Hazard Area (SFHA) and higher than the elevation of the 0.2-percent-annual-chance (or 500-year) flood.

Wildlife

Bristlecone indicated that the project site has been previously disturbed and thus does not provide ideal habitat for a variety of wildlife species. The highest quality habitat on the site is likely the isolated wetland, though this provides negligible water filtration and does not provide significant habitat for wetland wildlife species. Development of the site would inevitably affect some potential habitat for wildlife, but based on the findings of the site reconnaissance, Bristlecone classifies the expected impacts as low to very low. Designated open spaces will also conserve some of the open grassland habitats that are currently available. Federally listed Threatened and Endangered (T&E) species are not expected to occur on the site. There is no suitable habitat for the state-listed Preble's Meadow Jumping Mouse (PMJM). A PMJM disqualification letter from US Fish and Wildlife Service, dated October 31, 2019 is provided with this submittal.

Wetlands

The delineation of the wetlands on the site was undertaken by Bristlecone. The wetland assessment revealed the presence of one wetland onsite. Teachout Creek is mapped in the USFWS National Wetland Inventory (NWI) and USGS National Hydrography Dataset (NHD) data as a stream in the northwest portion of the site, but does not exist as depicted; it is a dry ditch with no connection to downstream WOTUS (Waters of the United States), no defined streambed, and no hydrologic conveyance. It is Bristlecone's professional opinion that this wetland is not jurisdictional, but an Approved Jurisdictional Determination (AJD) from the U.S. Army Corps of Engineers (USACE) will be required to confirm the non-jurisdictional status of this wetland. Pending this confirmation, no impacts to jurisdictional aquatic resource protected under the Clean Water Act are anticipated.

Soils and Geology

The Soils, Geology and Geologic Hazard Study prepared by Entech Engineering indicates that the existing geologic engineering and geologic conditions will impose some constraints on development and construction of the site. These include potentially expansive clays and claystone, areas of erosion, potentially shallow groundwater, collapsible soils, potentially shallow bedrock, and possible radon gas build-up. Entech Engineering noted that geologic hazards identified on the site can either be avoided by development or satisfactorily mitigated through proper engineering design and construction practices, including perimeter drains for the shallow groundwater. Mitigation measures are outlined in the study.

Wildfire Hazard Mitigation

Wildfire hazard for the site was evaluated using the Colorado State Forest Service's (CSFS) online Wildfire Risk Assessment Portal (WRAP; CSFS 2018). Bristlecone noted that the majority of the area is mapped as "Lowest" wildfire risk with a few small pockets of "Low" risk present. The site is rated low-moderate in terms of values and assets present that could be lost to wildfire; it is rated "Low" to "Very Low" in terms of burn probability based on the available fuels at the site. The nearest fire response in the Tri Lakes Fire Protection District is Station 3, which is 2.7 miles away. Development of the site would result in a reduction of the available fuels for wildfires, while simultaneously increasing the values and assets present on the site. As such, the wildfire risk index for the project is expected to stay close to the same as a result of development.

PROJECT JUSTIFICATION

Zone Change

The proposed rezoning for the 147 lots on approximately 37.22 acres from RS-20000 to RS-5000 described above complies with the Map Amendment (Rezoning) Criteria in Chapter 5.2.5.B of the Land Development as follows:

1. The application is in general conformance with the El Paso County Master Plan including applicable Small Area Plans or there has been a substantial change in the character of the neighborhood since the land was last zoned;

County Policy Plan

The following County Policies are relevant to the requested rezoning:

- **Policy 6.1.3:** Encourage new development which is contiguous and compatible with previously developed areas in terms of factors such as density, land use and access.
- **Policy 6.1.13:** Encourage the use of carefully planned and implemented clustering concepts in order to promote efficient land use, conservation of open space and reduction of infrastructure costs.
- **Policy 6.1.7:** Encourage infill development which complements existing uses, is consistent with Small Area and other adopted plans.
- **Policy 6.1.8:** Encourage incorporating buffers or transitions between areas of varying use or density where possible.
- **Policy 6.1.11:** Plan and implement land development so that it will be functionally and aesthetically integrated within the context of adjoining properties and uses.
- **Policy 6.4.4:** Encourage new rural residential subdivisions to be located within or contiguous with existing rural residential areas or to be incorporated as a buffer between higher density and undevelopable areas.
- **Policy 13.1.1:** Encourage a sufficient supply and choice of housing at varied price and rent levels through land development regulations.
- **Policy 13.1.2:** Support the provision of land use availability to meet the housing needs of county residents.

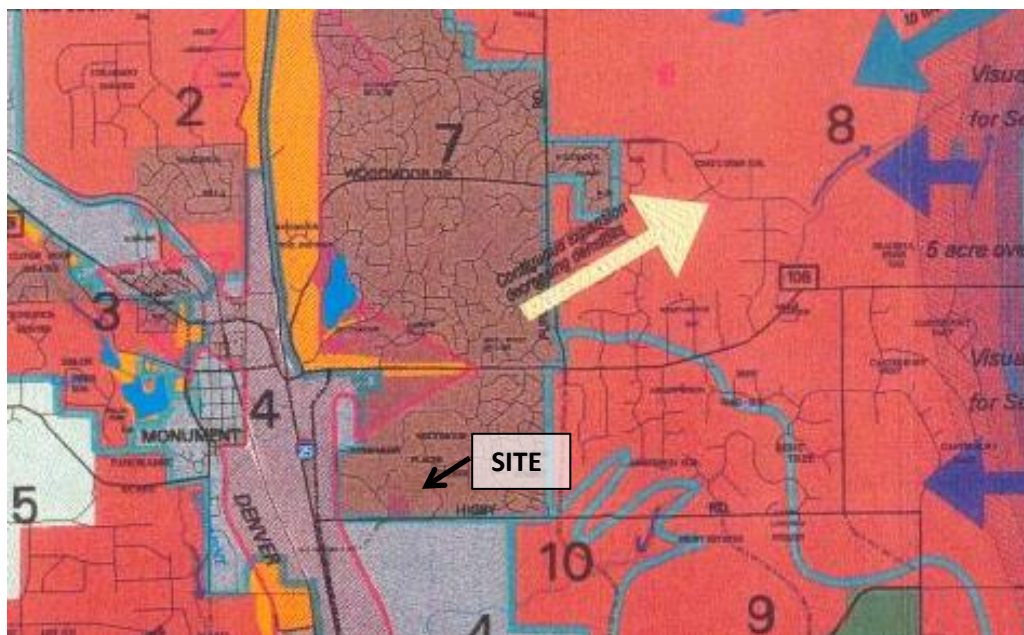
The proposed project is consistent with the policies of the County Plan which encourages infill development which complements existing uses. While the proposed RS-5000 zoning does not support clustering concepts, the combination of this project with the WOSC open space purchase enables the conservation of a substantial area of open space for the benefit of the surrounding neighborhood.

The County Plan encourages a variety of housing options that allows for a balance of mutually supportive land uses in a more urban area of the County. Compatibility is defined as *“a state in which two things are able to exist or occur together without problems or conflict.”* It does not mean that the two things have to be identical. The proposed rezone to RS-500 will provide a transition from the lower density ½ acre residential lots to the west and north, and the higher density townhome development to the south and east and will not result in any problems or conflicts. The project design also incorporates

open space buffers to the east and north and a 3.83-acre buffer tract to the west, which includes a 1.76-acre detention pond and a 30-foot-wide trail tract adjacent to the existing ½ acre lots to the west.

2000 Tri-Lakes Comprehensive Plan

Cloverleaf is located within the area covered by the 2000 Tri-Lakes Comprehensive Plan ("Plan"). The development is within Sub-Area 7, Woodmoor, which is identified as an area for medium density residential development. Most of the Woodmoor Sub-Area is zoned for single-family development. There are a few areas with this Sub-Area zoned for multi-family and commercial development. The Plan indicates that most new development with this sub-area is infill. The Woodmoor Sub-Area is nearly built out and the only growth that can be expected is infill properties. The proposed rezone to RS-5000 is will facilitate infill development and is consistent with the medium density designation in the Tri-Lakes Comprehensive Plan.



2. The rezoning is in compliance with all applicable statutory provisions, including but not limited to C.R.S. §30-28-111 §30-28-113, and §30-28-116;

As the proposed rezoning fulfils the goals of the County Master Plan and is a compatible transition between the adjacent subdivisions and therefore complies with the statutory provisions that allow County's to establish limit, regulate, or amend zoning within the unincorporated parts of El Paso County in the interests of public health, safety and welfare.

3. The proposed land use or zone district is compatible with the existing and permitted land uses and zone districts in all directions; and

As noted above, compatibility is defined as *"a state in which two things are able to exist or occur together without problems or conflict."* It does not mean that the two things have to be identical. The

proposed RS-5000 zone change provides a transition with the surrounding ½ acre single-family lots to the west and north and the higher density townhome developments to the south and east.

4. The site is suitable for the intended use, including the ability to meet the standards as described in Chapter 5 of the Land Development Code, for the intended zone district.

The proposed lots will meet the use and dimensional standards for the respective zones (RS-20000 and RS-5000) as set out in Chapter 5 of the Land Development Code (LDC). The site is suitable for proposed residential lots and it provides a transition between residential use types. The project has adequate access to Higby Road, Bowstring Road and Cloverleaf Road and has access to adequate utilities.

Preliminary Plan

The Preliminary Plan is consistent with the approval criteria in Section 7.2.1.D.2.e of the LDC as follows:

1. The proposed subdivision is in general conformance with the goals, objectives, and policies of the Master Plan;

The Master Plan comprises the County Policy Plan and 2000 Tri-Lakes Comprehensive Plan. The same policies that support the proposed rezoning to RS-5000, also support the Preliminary Plan. The proposed residential development is in a location contiguous to existing residential subdivisions. The proposed project is consistent with the policies of the County Plan which encourages infill development that complements and transitions to existing uses. The County Plan encourages a variety of housing options that allows for a balance of mutually supported land uses in a more urban area of the County. The proposed development is also consistent with the medium density designation and infill objectives of Sub-Area 7 of the Tri-Lakes Comprehensive Plan.

2. The subdivision is consistent with the purposes of this Code;

The stated purpose of the Code is to preserve and improve the public health, safety and general welfare of the citizens and businesses of El Paso County. The proposed subdivision of residential lots is consistent with the County Master Plan and provides a transition between the surrounding ½ acre single-family lots and the townhome developments to the south and east.

3. The subdivision is in conformance with the subdivision design standards and any approved sketch plan;

There is no approved Sketch Plan for this property. The proposed subdivision is in conformance with the subdivision design standards other than the one requested waiver, which are discussed in more detail below. The subdivision design standards set out in Chapter 8 of the Land Development Code are met, including but not limited to:

- adequate provision for traffic, drainage, and open space;
- provision of properly designed roads to provide for safe and convenient vehicular circulation and identification of required road improvements;
- adequate provision for water, sewer and other utilities;

- ensuring that structures will harmonize with the physical characteristics of the site;
- ensuring that land is divided into lots that are of adequate size and configuration for the purpose for which they are intended to be used; and

Waivers are requested of the Land Development Code requirements to allow the Walters Point as a private road (8.4.4.E.2) and to allow this private road design to differ from County standards (8.4.4.E.3). The justification for these waivers is set out below. Deviations are also submitted for the specific standards of the Engineering Criteria Manual that are not being met for Walters Point. A deviation for the intersection of Crimson Clover Drive and Cloverleaf Rad is also requested as the existing grade on Cloverleaf Road slightly exceeds the maximum 4% grade standard across an intersection.

4. A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of this Code;

Water service will be provided by Woodmoor Water and Sanitation District. JR Engineering, LLC prepared a Water Resources and Water Quality Report, which indicates that the potable water demand was calculated on a single-family equivalent (SFE) basis. Water System demands were established using the "Colorado Springs Utilities Waterline Standards" as shown below for the following parameters.

- Average Daily Flow per Capita = 10 gpd
- Average capita per single-family housing unit: 2.5 people/unit
- SFE wastewater average daily loading: 250.0 gpd
- Peaking Factor: 5.0

Based on the above criteria, the average daily flow will be 38,000, gpd, the peak flow will be 190,000 gpd. The water distribution system design will conform to all applicable criteria set forth by El Paso County and the WWSD. A commitment letter from the WWSD to provide water service to the Cloverleaf Subdivision is included with this submittal.

5. A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with state and local laws and regulations, [C.R.S. §30-28-133(6) (b)] and the requirements of Chapter 8 of this Code;

A Wastewater Disposal Report was prepared by JR Engineering for the development. The purpose of the report was to show that the proposed wastewater discharge is within the acceptance criteria of the Woodmoor Water and Sanitation District. The sanitary sewer system, design, and modeling results conform to all applicable criteria set forth by El Paso County and the WWSD. A commitment letter from the WWSD to provide wastewater service to the Cloverleaf Subdivision is included with this submittal.

6. All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions. [C.R.S. §30-28-133(6)(c)];

The Soils, Geology and Geologic Hazard Study prepared by Entech Engineering indicates that the existing geologic engineering and geologic conditions will impose some constraints on development and construction of the site. These include potentially expansive clays and claystone, areas of erosion,

potentially shallow groundwater, collapsible soils, potentially shallow bedrock, and possible radon gas build-up. Entech Engineering noted that geologic hazards identified on the site can either be avoided by development or satisfactorily mitigated through proper engineering design and construction practices, including perimeter drains for the shallow groundwater. Additional soils investigation is recommended as the development and grading plans are prepared to provide more detailed information on soil, groundwork and bedrock.

7. Adequate drainage improvements complying with State law [C.R.S. §30-28- 133(3)(c)(VIII)] and the requirements of this Code and the ECM are provided by the design;

These matters are addressed in the Preliminary Drainage Report prepared by JR Engineering. The purpose of the report is to identify on-site and off-site drainage patterns, storm sewer, culvert and inlet locations, areas tributary to the site, and to safely route developed storm water to adequate outfall facilities. No major drainageways or irrigation wells exist on the site. Cloverleaf lies within the upper reaches of the Teachout Creek watershed basin. Drainage from the site currently discharges both west through existing culverts to Lewis Palmer High School and south under Higby Road through existing culverts. The proposed Cloverleaf Subdivision development drainage improvements, including storm sewer and two full spectrum water quality and detention ponds were designed to meet or exceed the El Paso County Drainage Criteria.

8. Legal and physical access is or will be provided to all parcels by public rights-of-way or recorded easement, acceptable to the County in compliance with this Code and the ECM;

The majority of lots will be accessible by new public streets that will comply with the LDC and ECM. Lots 142-147 will be accessed off Walters Point, which is an existing private road that is to be retained as a private road and improved as part of this project.

The proposed subdivision has established an adequate level of compatibility by

1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the subdivision;

Approximately 70-acres of public open space is being purchased from the Walters family by WOSC for the benefit of this project and the surrounding subdivisions. This project directly facilitates the ability of WOSC to purchase this open space area. In addition, the project proposes a number of internal open space tracts throughout the development. Tract H will provide a small amenity area for the benefit of the Cloverleaf residents. Trails are located in some of these open space tracts to provide a recreational amenity and to connect to the internal street sidewalks. The open space tracts will be owned and maintained by the Metropolitan District to be formed for the Cloverleaf Development. Park land dedication or fees in lieu of land dedication will be due at the time of final plat recordation.

2) incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit if appropriate, and the cost-effective delivery of other services consistent with adopted plans, policies and regulations of the County;

Sidewalks will be constructed along the local streets within the development for Lots 1-141, although connecting streets do not include sidewalks. Trails will be provided in the open space tracts throughout the development, which will connect to internal sidewalks and the open space areas surrounding the

project. The Traffic Impact Study demonstrates that the development will not materially impact existing levels of service on surrounding roads. There is no public or mass transit in the area. The site is within walking distance of Lewis-Palmer High School and the YMCA on Jackson Creek Parkway. Other services for the development are consistent with adopted plans, policies and regulations of the County.

3) incorporating physical design features in the subdivision to provide a transition between the subdivision and adjacent land uses;

The proposed rezoning to RS-5000 (5,000 square foot lot maximum) allows for residential lots that provide a transition with the existing larger residential lots to the east and north and the multi-family development to the west. Open space areas are maintained around the north and east of the development. The project design also incorporates open space buffers to the east and north and a 3.83-acre buffer tract to the west, which includes a 1.76-acre detention pond and a 30-foot wide trail tract adjacent to the existing ½ acre lots to the west. The three isolated ½ acre lots are infill parcels in an already developed 1/2 -acre subdivision and no additional design features are considered necessary for these lots.

4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and

The site has been previously disturbed and thus does not provide ideal habitat for a variety of wildlife species. Impact of development on potential wildlife habitat according to Bristlecone will be low. The site is not suitable habitat for the state-listed Preble's meadow jumping mouse. The Cloverleaf project facilitates the purchase of approximately 70-acres of open space, which will continue to accommodate any existing wildlife on the site. The control of noxious weeds through the development of the site and management of the open spaces will improve wildlife habitat. There are no jurisdictional wetlands on the property.

5) incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of County services and facilities;

The Traffic Impact Study demonstrates that the development will not materially impact existing levels of service on surrounding roads. All required utilities are available to the development and the required will serve letters are provided. The proposed project will not negatively impact the levels of service of County services and facilities.

9. Necessary services, including police and protection, recreation, utilities, open space and transportation system, are or will be available to serve the proposed subdivision;

Mountain View Electric and Black Hills Energy will provide electric and natural gas services as stated in the Will Serve letters included in this submittal. Woodmoor Water and Sanitation District will provide water and wastewater service. Tri-Lakes Monument Fire Department will provide fire protection services and Fire Station 3 is approximately 2.7 miles to the north. The County Sheriff will provide police protection, which will be supplemented by Woodmoor Improvement Association Public Safety service. Adequate open space and streets are provided to serve the future residents of the subdivision and the project facilitates the purchase of 70 acres of open space by WOSC for public use.

10. The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of this Code; and

The Tri-Lakes Protection District has adequate capacity to provide fire protection to the proposed subdivision. A Fire Protection Report and a Will Serve letter are included with this submittal.

11. The proposed subdivision meets other applicable sections of Chapter 6 and 8 of this Code.

The proposed subdivision meets the applicable sections of the Code, subject to the requested waivers below, for which justification is provided.

Administrative Relief

Chapter 5.5.1.(B)(2) allows the granting of administrative relief for a maximum of a 20% increase in lot coverage from the amount required in the zoning district. Administrative relief is requested to allow a maximum 50% lot coverage for lots 1-5, 50-52, 84-85, 91-96, 99-117, 119-127, and 145-147. In negotiations with WOSC and the adjacent townhome HOA's, the developer has committed to restricting the buildings to ranch plans on the lots identified in yellow below. This will serve to preserve views and the character of the existing residential area on the approach to the subdivision along Cloverleaf Road, as the lots in the southeast corner will be elevated.



Of the lots with the ranch restriction, administrative relief is sought to allow a maximum 50% lot coverage on the lots outlined in red above. These lots are 55 feet wide or less and the requested 50% lot coverage would allow for a ranch plan with a three-car garage, whereas a maximum 45% lot coverage as allowed by the RS-5000 zoning for ranch plans would not facilitate this larger footprint.

The LDC indicates that administrative relief shall be for the purpose of relieving difficulties or hardships due to narrowness, shallowness, shape or topographic condition of a specific piece of property, or to provide limited flexibility to lot standards when it is determined that no substantial detriment to the public good nor harm to the general purpose and intent of this Code will be caused by the administrative relief granted. The fact that this request is made to accommodate a specific request from the adjacent homeowners/HOAs to limit lots to ranch plans in order to preserve views and neighborhood character is indication that the administrative relief will benefit the public good of the existing neighborhood. It will also benefit the future residents of these lots, as it will allow them the opportunity to have the same conveniences as the neighboring lots that have no height restrictions.

Waivers

The following Waivers of the Land Development Code requirements are requested:

- 8.4.4.E.2 – private roads require a waiver
- 8.4.4.E.3 – private roads to meet County standards

This relates to Walters Point private road, which is to be retained as a private road as part of this project. It is proposed to improve the road to a Local (Low Volume) street standard per the Engineering Criteria Manual, with the following exceptions: no sidewalks, reduced vertical curve, and non-standard curb sections.

Section 7.3.3 of the LDC states that a waiver from standards shall be approved only upon the finding, based upon the evidence presented in each specific case, that:

- **The waiver does not have the effect of nullifying the intent and purpose of this Code;**
The most relevant purpose of the code in this regard is to “establish reasonable standards of design and procedures for subdivision”. The requested waivers are reasonable to enable the project design to provide a secondary point for access to the adjacent townhome development, address topographical constraints in the southeast corner of the site and to preserve an amenity area for the development.
- **The waiver will not result in the need for additional subsequent waivers;**
This request is limited to Walters Point and not repeated elsewhere in the subdivision.
- **The granting of the waiver will not be detrimental to the public safety, health, or welfare or injurious to other property;**
The project will continue to provide a second point of access to the townhomes to the south, which is required for safety reasons. The current Walters Point is a substandard private road. This project will bring it up to ECM standards, with a few exceptions. The improved road will be of benefit to other property. In order to offset the cost of improving this road, six lots have been included that utilize it for their access.
- **The conditions upon which the request for a waiver is based are unique to the property for which the waiver is sought and are not applicable to other property;**
The requested waiver from some of the Local (Low Volume) street standards is necessary to work with the topographical constraints of the steeper grade and in the southeast corner of the

property, the need to accommodate a detention pond in the southeast corner, and the desire to preserve the open space/amenity area in Tract H.

- **A particular non-economical hardship to the owner would result from a strict application of this Code;**

The project is required to continue to provide a second point of access to the townhomes to the south, which is required for safety reasons. As this is only serving a few lots and as a secondary access to the townhomes, it is logical to keep it as a private road. The southeast corner of the site is constrained by topography, the need to accommodate a detention pond in the southeast corner, and the desire to preserve the open space/amenity area in Tract H. This creates the need to vary from the Local (Low Volume) street standards.

- **The waiver will not in any manner vary the zoning provisions of this Code;**

The density proposed by this subdivision is consistent with the proposed RS-5000 zoning. The requested waiver does not allow the developer any greater density than could be achieved without it.

- **The proposed waiver is not contrary to any provision of the Master Plan.**

The proposed waiver does not impact the goals of the County Master Plan and the 2000 Tri-Lake Comprehensive Plan.



EXISTING ZONING:	RS-20000
PROPOSED ZONING:	RS-5000, RS-20000
PROPOSED LAND USE:	
Residential Lots (RS-5000):	23.633 acres, 147 Lots
Residential Lots (RS-20000):	1.506 acres, 3 Lots
Open Space :	4.572 acres
Stormwater Detention :	2.088 acres
ROW:	6.927 acres
RS-5000 DIMENSIONAL STANDARDS:	
Minimum Setbacks	
Front	25ft
Rear :	25ft
Side :	5ft
Minimum Lot Size:	5,000 SF
Maximum Building Height:	30ft
Maximum Lot Coverage:	40%
RS-20000 DIMENSIONAL STANDARDS:	
Minimum Setbacks	
Front	40ft
Rear :	40ft
Side :	15ft
Minimum Lot Size:	20,000 SF
Maximum Building Height:	30ft
Maximum Lot Coverage:	20%



LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 11
SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

PRELIMINARY PLAN

PARCEL 1

A PARCEL OF LAND BEING ALL OF THAT PROPERTY DESCRIBED IN THE DEED RECORDED UNDER RECEPTION NO. 211111394 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, BEING A PORTION OF TRACT B, WOODMOOR PLACER RECORDED IN BOOK U-2 AT PAGE 66, TOGETHER WITH ALL OF TRACT H, WOODMOOR GREENS RECORDED IN BOOK U-2 AT PAGE, LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE LINE BETWEEN THE 30.00' WITNESS CORNER TO THE CENTER QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 10377 1997 30.00 WC" AND THE 30.0' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SAID SECTION 23, MONUMENTED BY A 1-1/2" ALUMINUM CAP STAMPED "LS 2692". SAID LINE BEARING S89°54'49"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE.

COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN:

COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN:
THENCE N23°36'18"W A DISTANCE OF 971.92 FEET, TO A POINT ON THE SOUTHWESTERLY LINE OF TRACT B, WOODMOOR PLACER RECORDED IN BOOK U-2 AT PAGE 66 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER;
THENCE ON SAID SOUTHWESTERLY LINE, N47°53'03"W A DISTANCE OF 244.83 FEET, TO THE SOUTHWESTERLY CORNER OF TRACT H, WOODMOOR GREENS PLAT RECORDED IN BOOK U-2 AT PAGE 51;
THENCE THE PRODUCE OF SAID TRACT H, THEREAFTER BEING THEREIN SOURCES

THENCE ALONG THE PERIMETER OF SAID TRACT H, THE FOLLOWING THREE (3) CURVES:

1. N33°23'09"W A DISTANCE OF 130.11 FEET, TO A POINT OF NON-TANGENT CURVE; ON THE SOUTHERLY RIGHT-OF-WAY LINE OF LEGGINS WAY;
2. S14°54'48"E A DISTANCE OF 100.00 FEET, TO THE RIGHT WHOSE CENTER BEARS S53°24'06"E, HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 15°37'30" AND AN ARC LENGTH OF 81.78 FEET, TO A POINT OF NON-TANGENT;
3. S52°28'59"E A DISTANCE OF 196.68 FEET, TO A POINT ON THE WESTERLY LINE OF SAID TRACT B, WOODMOOR PLACER;

THENCE ON SAID WESTERLY LINE, THE FOLLOWING FIVE (5) COURSES:

1. N81°20'01"E A DISTANCE OF 130.03 FEET;
2. N26°20'33"E A DISTANCE OF 511.07 FEET;
3. N52°03'56"E A DISTANCE OF 451.83 FEET;
4. N17°03'30"W A DISTANCE OF 222.24 FEET;

5. N07°26'50"W A DISTANCE OF 104.67 FEET;
THENCE DEPARTING THE WESTERLY LINE OF SAID TRACT B, THE FOLLOWING TWELVE (12) COURSES:
1. N84°15'58"E A DISTANCE OF 126.43 FEET, TO A POINT OF NON-TANGENT CURVE;
2. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N46°46'54"E, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 105°01'39" AND AN ARC LENGTH OF 91.65 FEET, TO A POINT OF NON-TANGENT;

3. N85°02'46"E A DISTANCE OF 42.49 FEET;
4. S08°08'16"E A DISTANCE OF 85.83 FEET, TO A POINT OF CURVE;
5. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1,470.00 FEET, A CENTRAL ANGLE OF 08°35'03" AND AN ARC LENGTH OF 220.24 FEET, TO A POINT OF TANGENT;
6. S00°26'47"W A DISTANCE OF 266.67 FEET, TO A POINT OF CURVE;
7. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1,470.00 FEET, A CENTRAL ANGLE OF 52°42'18" AND AN ARC LENGTH OF 395.55 FEET, TO A POINT OF TANGENT;
8. S00°00'00"W A DISTANCE OF 100.00 FEET, TO A POINT OF CURVE;
9. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1,470.00 FEET, A CENTRAL ANGLE OF 08°35'03" AND AN ARC LENGTH OF 220.24 FEET, TO A POINT OF TANGENT;
10. N85°02'46"E A DISTANCE OF 42.49 FEET;

9. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 52°42'18" AND AN ARC LENGTH OF 395.55 FEET, TO A POINT OF TANGENT;

10. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 267.37 FEET, A CENTRAL ANGLE OF 24°42'05" AND AN ARC LENGTH OF 254.74 FEET, TO A POINT OF TANGENT;

11. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 570.00 FEET, A CENTRAL ANGLE OF 24°42'05" AND AN ARC LENGTH OF 254.74 FEET, TO A POINT OF NON-TANGENT;

12. N59°24'51"E A DISTANCE OF 103.30 FEET, TO A POINT OF CURVE;

13. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 780.00 FEET, A CENTRAL ANGLE OF 01°14'02" AND AN ARC LENGTH OF 16.80 FEET, TO A POINT OF TANGENT;

14. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 01°14'02" AND AN ARC LENGTH OF 1.75 FEET, TO A POINT OF TANGENT;

12. N58°10'49"E A DISTANCE OF 124.49 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF CLOVERFIELD ROAD, SAID POINT BEING A POINT OF NON-TANGENT CURVE: THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE, THE FOLLOWING FIVE (5) COURSES:
1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N54°21'17"E, HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 15°15'51" AND AN ARC LENGTH OF 109.23 FEET, TO A POINT OF NON-TANGENT;
2. S50°58'07"E A DISTANCE OF 104.84 FEET, TO A POINT OF NON-TANGENT CURVE;

3. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S39°04'09"W, HAVING A RADIUS OF 269.73 FEET, A CENTRAL ANGLE OF 95°15'09" AND AN ARC LENGTH OF 448.43 FEET, TO A POINT OF NON-TANGENT;

4. S44°20'00"W A DISTANCE OF 278.41 FEET, TO A POINT OF NON-TANGENT CURVE;

5. S44°20'00"W A CURVE TO THE LEFT WHOSE CENTER BEARS S45°13'59"E, HAVING A RADIUS OF 310.00 FEET, A CENTRAL ANGLE OF 15°03'35" AND AN ARC LENGTH OF 81.48 FEET, TO A POINT OF NON-TANGENT, SAID POINT BEING ON THE SOUTHERLY LINE OF SAID TRACT B, WOODMOOR PLACER;

THENCE ON SAID SOUTHERLY LINE, THE FOLLOWING THREE (3) COURSES:

1. N61°02'18"W A DISTANCE OF 958.19 FEET;
2. N60°38'25"W A DISTANCE OF 314.83 FEET;
3. N83°12'34"W A DISTANCE OF 466.58 FEET, TO THE POINT OF BEGINNING;

CONTAINING A CALCULATED AREA OF 1,452,072 SQUARE FEET OR 33.3350 ACRES

PARCEL 2-1:

COMMENCING AT THE 30' REFERENCE POINT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN; THENCE N55°52'28" W A DISTANCE OF 2,950.16 FEET, TO A POINT EASTERLY RIGHT-OF-WAY LINE OF BOWENING ROAD, SAID POINT BEING THE POINT OF BEGINNING OF SAID EAST-BOUND RIGHT-OF-WAY LINE; THENCE S88°52'24" W A DISTANCE OF 180.00 FEET, TO THE NORTHWESTLY CORNER OF TRACT F, A VACATION AND REPLAT OF LOTS 496-500 WOODMOOR GREENS RECORDED IN BOOK W-2 AT PAGE 218 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER; THENCE ON THE NORTHERLY LINE OF SAID TRACT F, N88°52'24" E A DISTANCE OF 180.00 FEET; THENCE DEPARTING SAID NORTHERLY LINE, S01°07'36" E A DISTANCE OF 121.00 FEET; THENCE S88°52'24" W A DISTANCE OF 180.00 FEET, TO THE POINT OF BEGINNING; THENCE S88°52'24" W A DISTANCE OF 21,780 SQUARE FEET OR 0.5000 ACRES, CONTAINING A CALCULATED AREA OF 21,780 SQUARE FEET OR 0.5000 ACRES.

PARCEL 2-2:

COMMENCING AT THE 3RD REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN: THENCE N48°29'02" W A DISTANCE OF 2,827.55 FEET, TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF BOWSTRING ROAD, SAID POINT BEING THE SOUTHWESTERLY CORNER OF TRACT F; A VACATION AND REPLAT OF LOTS 496-500 WOODMOOR GREENS RECORDED IN BOOK W-2 AT PAGE 26 IN THE RECORDS OF THE EL PASO CLERK AND RECORDER, AND THE POINT OF BEGINNING;

THENCE ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID BOWSTRING ROAD, N01°07'36" W A DISTANCE OF 121.77 FEET

THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, N89°52'24"E A DISTANCE OF 181.20 FEET;
THENCE S01°07'36"E A DISTANCE OF 118.62 FEET, TO A POINT ON THE SOUTHERLY LINE OF SAID TRACT F;
THENCE ON SAID SOUTHERLY LINE, S87°52'36"W A DISTANCE OF 181.23 FEET, TO THE POINT OF BEGINNING;
CONTAINING A CALCULATED AREA OF 21,779 SQUARE FEET OR 0.5000 ACRES.

PARCEL 2-3:
COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN;
THENCE N29°09'25" W A DISTANCE OF 1,388.71 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF LEGGINS WAY, SAID POINT BEING AN ANGLE POINT ON THE SOUTHWESTERLY
LINE OF TRACT F, WOODMOOR GREENS, RECORDED IN BOOK U-2 AT PAGE 51 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER AND THE POINT OF BEGINNING;

THENCE ON THE SOUTHWESTERLY LINE OF SAID TRACT F THE FOLLOWING TWO (2) COURSES:
1. N65°03'20"W A DISTANCE OF 123.87 FEET;
2. N34°17'20"W A DISTANCE OF 78.69 FEET, TO A POINT ON THE SOUTHERLY LINE OF A 16.00 FOOT UTILITY EASEMENT RECORDED UNDER RECEPTION NO. 202153260;
THENCE ON SAID SOUTHERLY EASEMENT LINE, N61°43'23"E A DISTANCE OF 151.99 FEET;
THENCE DEPARTING SAID SOUTHERLY EASEMENT LINE, S28°14'28"E A DISTANCE OF 117.70 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID LEGGINS WAY. SAID POINT

BEING A POINT OF NON-TANGENT CURVE, S26 18 20 E A DISTANCE OF 177.70 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID LEGGINS WAY, SAID POINT BEING SAID NORTHERLY RIGHT-OF-WAY LINE, ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S22°31'56"E, HAVING A RADIUS OF 360.00 FEET, A CENTRAL ANGLE OF 11°05'27" AND AN ARC LENGTH OF 69.69 FEET, TO THE POINT OF BEGINNING; CONTAINING A CALCULATED AREA OF 22,083 SQUARE FEET OR 0.5069 ACRES.

PARCEL 2.4

COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN; THENCE N27°54'57"E A DISTANCE OF 1420.57 FEET, TO A POINT ON THE EASTERLY LINE OF THAT PROPERTY DESCRIBED IN THE TRUSTEE'S DEED RECORDED UNDER RECEPTION NO. 211111394 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, SAID POINT BEING THE POINT OF BEGINNING; THENCE ON THE PERIMETER OF SAID PROPERTY THE FOLLOWING SEVEN (7) COURSES:

1. N52°15'31"W A DISTANCE OF 7.98 FEET, TO A POINT OF CURVE;
2. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 52°42'18" AND AN ARC LENGTH OF 395.55 FEET, TO A POINT OF TANGENT;
3. N00°24'47"E A DISTANCE OF 056.67 FEET, TO A POINT OF CURVE;
4. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1470.00 FEET, A CENTRAL ANGLE OF 08°35'03" AND AN ARC LENGTH OF 220.24 FEET, TO A POINT OF TANGENT;
5. N08°08'16"W A DISTANCE OF 85.83 FEET;

6. S85°02'46"W A DISTANCE OF 42.49 FEET, TO A POINT OF NON-TANGENT CURVE:
ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N58°14'45"W, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 105°01'39" AND AN ARC LENGTH OF 91.65 FEET, TO A POINT OF NON-TANGENT.
THENCE DEPARTING SAID PROPERTY THE FOLLOWING TWO (2) COURSES:
1. S84°02'46"W A DISTANCE OF 42.49 FEET

1. N64°03'34"E A DISTANCE OF 224.55 FEET;
2. S05°52'43"E A DISTANCE OF 936.00 FEET, TO THE POINT OF BEGINNING,
CONTAINING A CALCULATED AREA OF 101,309 SQUARE FEET OR 2.3257 ACRES.

PARCEL 2-5

COMMENCING

PROPERTY DESCRIBED IN THE TRUSTEE'S DEED RECORDED UNDER RECEPTION NO. 21111394 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER AND THE POINT OF BEGINNING:

THENCE ON THE NORTHERLY LINE OF SAID PROPERTY THE FOLLOWING FOUR (4) COURSES:

1. S88°10'49"W A DISTANCE OF 124.49 FEET, TO A POINT OF CURVE;
2. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 780.0 FEET, A CENTRAL ANGLE OF 01°14'02" AND AN ARC LENGTH OF 16.80 FEET, TO A POINT OF TANGENT;

3. S59°24'51"W A DISTANCE OF 103.30 FEET, TO A POINT OF NON-TANGENT CURVE;
4. ON THE ARC OF THE CURVE TO THE LEFT WHOSE CENTER BEARS S62°26'34"W, HAVING A RADIUS OF 570.00 FEET, A CENTRAL ANGLE OF 23°19'20" AND AN ARC LENGTH OF 232.02 FEET, TO A POINT OF NON-TANGENT;
THENCE DEPARTING SAID NORTHERLY PROPERTY LINE, THE FOLLOWING FIVE (5) COURSES:
1. N28°37'11"E A DISTANCE OF 67.40 FEET, TO A POINT OF CURVE;

2. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 345.00 FEET, A CENTRAL ANGLE OF 26°50'S4" AND AN ARC LENGTH OF 161.66 FEET, TO A POINT OF NON-TANGENT;

3. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 345.00 FEET, A CENTRAL ANGLE OF 26°50'S4" AND AN ARC LENGTH OF 161.66 FEET, TO A POINT OF NON-TANGENT;


4. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S34°31'56"E, HAVING A RADIUS OF 230.00 FEET, A CENTRAL ANGLE OF 19°25'04" AND AN ARC LENGTH OF 77.95 FEET, TO A POINT OF TANGENT;

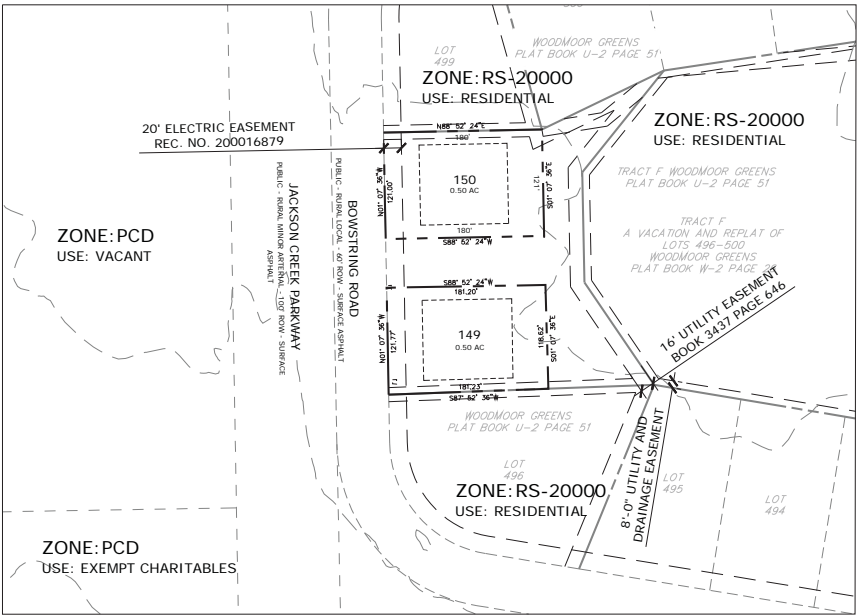
5. N74°53'09"E A DISTANCE OF 8.95 FEET, TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF CLOVERLEAF ROAD, SAID POINT BEING A POINT OF NON-TANGENT CURVE. THE NTH OF SAID WESTERLY RIGHT-OF-WAY LINE, ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N80°18'27"E, HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 25°57'10" AND AN ARC LENGTH OF 185.71 FEET, TO THE POINT OF BEGINNING. CONTAINING AN CALCULATED AREA OF 67.905 SQUARE FEET OR 1.5589 ACRES.

TRACT NO.	AREA	USE / ALLOWED STRUCTURES	OWNER / MAINT.
A	147,335 SF 3.38 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES, ENTRY MONUMENT	METRO DISTRICT
B	8,007 SF 0.184 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES, PUBLIC TRAIL	METRO DISTRICT
C	5,908 SF 0.135 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES	METRO DISTRICT
D	2,400 SF 0.055 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES	METRO DISTRICT
E	9,227 SF 0.212 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES, PUBLIC TRAIL	METRO DISTRICT
F	2,843 SF 0.065 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES, PUBLIC TRAIL	METRO DISTRICT
G	24,346 SF 0.559 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES	METRO DISTRICT
H	33,833 SF 0.779 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES, PUBLIC TRAIL, AMENITIES	METRO DISTRICT
I	33,698 SF 0.774 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES	METRO DISTRICT
J	486 SF 0.011 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES	METRO DISTRICT
K	8,078 SF 0.185 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES, PUBLIC TRAIL, AMENITIES	METRO DISTRICT
L	13,991 SF 0.321 AC	OPEN SPACE, DRAINAGE, PUBLIC UTILITIES	METRO DISTRICT

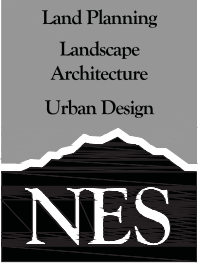
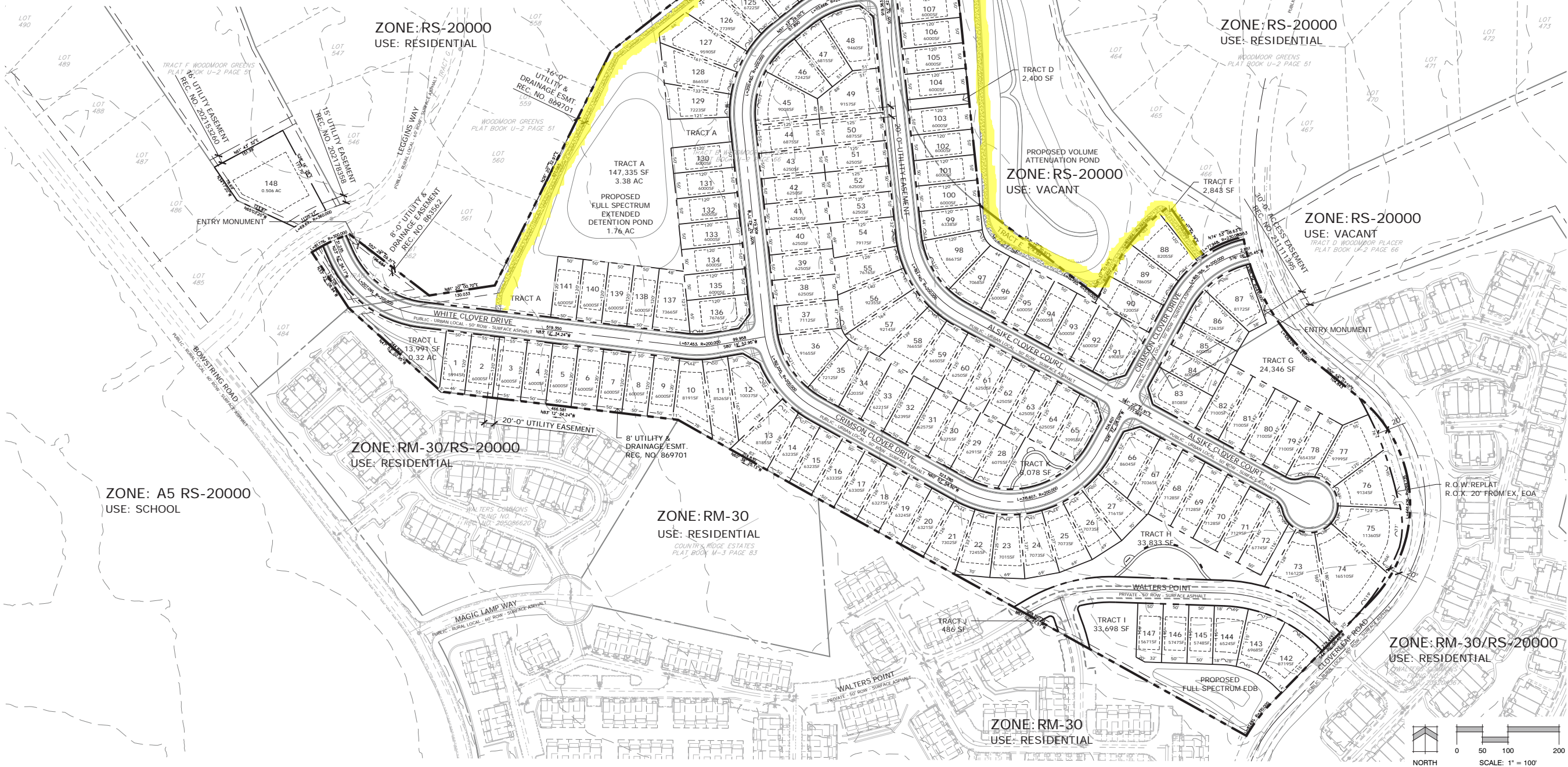
1. Geologic Hazards Disclosure Statement: Areas of the proposed subdivision have been found to be impacted by geologic conditions including expansive soils, areas of erosion, potentially seasonal and seasonal shallow groundwater, collapsible soils, and radioactivity. Proposed mitigation measures include special foundation design, overexcavation, perimeter drains, revegetation, increased ventilation in basements and crawl spaces, and other standard engineering practices. A Map of the hazard areas and proposed mitigation measures can be found in the Soils, Geology, and Geologic Hazard Study prepared by Ertz Engineering Inc., dated April 7, 2020, and is held in the Cloverleaf Preliminary Plan File (SP-xxxx) at the El Paso County Planning and Community Development Department. The Final Plats will provide more detailed analysis and will identify any additional mitigation or additional no build areas.
2. If engineered foundations are required to address geological hazards, an engineered site plan will be required.
3. A Metropolitan District will be established to provide bonding for the public improvements, and for the ongoing ownership and maintenance of open space trails, detention ponds, and private street.
4. The CCRs for this area were recorded April 20, 1973 at Book 2579, Page 423 at the El Paso County Clerk and Records Office. All building plans shall comply with Woodmoor Improvement Association Project Design Standards Manual. Both Woodmoor Placer CCRs and PSDM can be found online at www.woodmoor.org.
5. Unless otherwise restricted by the CC&Rs, all accessory uses, buildings and structures must comply with requirements set out in Chapter 5 of the El Paso County Land Development Code.
6. Trails within the open space areas will be constructed as 5-foot breeze trails. All trails within the open space areas will be open for public use.
7. All streets will be constructed to El Paso County Standards and public streets will be dedicated to the County with the Final Plat.
8. There shall be no direct lot access to Cloverleaf Road.
9. Typical lot utility easements shall be (5) foot front.
10. Utilities will be provided as follows:
 - Electric - Mountain View Electric Association
 - Gas - Black Hills Energy
 - Water - Woodmoor Water and Sanitation
 - Wastewater - Woodmoor Water and Sanitation
11. The applicant is proposing fees in lieu of school and park land dedication. The anticipated fees for 150 lots is \$68,400 in regional park fees, \$16,950 in neighborhood park fees, \$26,250 in community park fees, and \$ 46,200 in Lewis-Palmer School District 38 fees.
12. Full Spectrum Detention is provided in Tracts A and I.

Sheet 1 of 10:	Cover Sheet
Sheet 2 of 10:	Preliminary Plan
Sheet 3 of 10:	Preliminary Grading Plan
Sheet 4 of 10:	Preliminary Grading Plan
Sheet 5 of 10:	Preliminary Grading Plan
Sheet 6 of 10:	Preliminary Utility Plan
Sheet 7 of 10:	Preliminary Utility Plan
Sheet 8 of 10:	Preliminary Utility Plan
Sheet 9 of 10:	Isolated Lots Preliminary Grading and Utility Plan
Sheet 10 of 10:	Adjacent Property Owners

PLANNER / LANDSCAPE ARCHITECT	<div>Land Planning Landscape Architecture Urban Design</div> <div></div> <div>N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903</div> <div>Tel. 719.471.0073 Fax 719.471.0267</div> <div>www.nescolorado.com</div> <div>© 2012. All Rights Reserved.</div>		
	IN ASSOCIATION WITH		
	CLOVERLEAF SUBDIVISION		
	CLOVERLEAF ROAD EL PASO COUNTY, COLORADO		
PROJECT INFO	DATE:	6/1/2020	
	PROJECT MGR:	A. BARLOW	
	PREPARED BY:	B. SWENSON	
TOTAL	PRELIMINARY PLAN		
	DATE:	BY:	DESCRIPTION:
SHEET / REVISION			
SHEET TITLE	COVER		
	1		
SHEET NUMBER	1 OF 10		
	PLANT #		



LOTS 149-150



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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CLOVERLEAF SUBDIVISION

CLOVERLEAF ROAD
EL PASO COUNTY,
COLORADO

DATE: 6/1/2020
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

PRELIMINARY PLAN

DATE: BY: DESCRIPTION:

PRELIMINARY PLAN

2
2 OF 10

X:\25110000\25115800\Drawings\Sheet\Drawings\25115800\GR01.dwg, GR01, 5/29/2023 2:58:15 PM, CS

LEGEND

- 6" VERT CATCH CURB W/ 1' PAN

PROPOSED WATER LINE

PROPOSED SANITARY SEWER LINE

PROPOSED STORM SEWER W/MANHOLE

PROPOSED TOP OF SLOPE

PROPOSED TOE OF SLOPE

PROPOSED RIGHT OF WAY

EASEMENT LINE

EXISTING RIGHT OF WAY

EXISTING BOUNDARY LINE

EXISTING PROPERTY LINE

EXISTING CURB & GUTTER

EXISTING GASLINE

EXISTING WATERLINE

EXISTING ELECTRIC LINE

EXISTING FENCE

EXISTING SANITARY SEWER W/MANHOLE

EXISTING STORM SEWER W/MANHOLE

EXISTING EDGE OF ASPHALT

EXISTING EDGE OF CONCRETE

EXISTING BOUNDARY LINE

EXISTING PROPERTY LINE

EXISTING EASEMENT LINE

PROPOSED PLUG W/ THRUST BLOCK

PROPOSED FIRE HYDRANT

PROPOSED WATER TEE

PROPOSED WATER BEND

PROPOSED FLARED END SECTION

PROPOSED WATER VALVE

EXISTING FIRE HYDRANT

EXISTING ELECTRIC PEDESTAL

EXISTING WATER MANHOLE

EXISTING TELEPHONE PEDESTAL

EXISTING WATER VALVE

EXISTING FIRE HYDRANT

EXISTING VALVE

EXISTING STREET LIGHT

EXISTING SIGN

EXISTING TELEPHONE MANHOLE

EXISTING FLARED END SECTION

EXISTING WATER VALVE

CLOVERLEAF SUBDIVISION
PRELIMINARY GRADING PLAN

PREPARED FOR
PT CLOVERLEAF, LLC
1864 WOODMOOR DRIVE, SUITE 100
COLORADO SPRINGS, CO 80920
ATTN: JOE DESJARDIN
719-476-0800
JDESJARDIN@PROTERRACO.COM

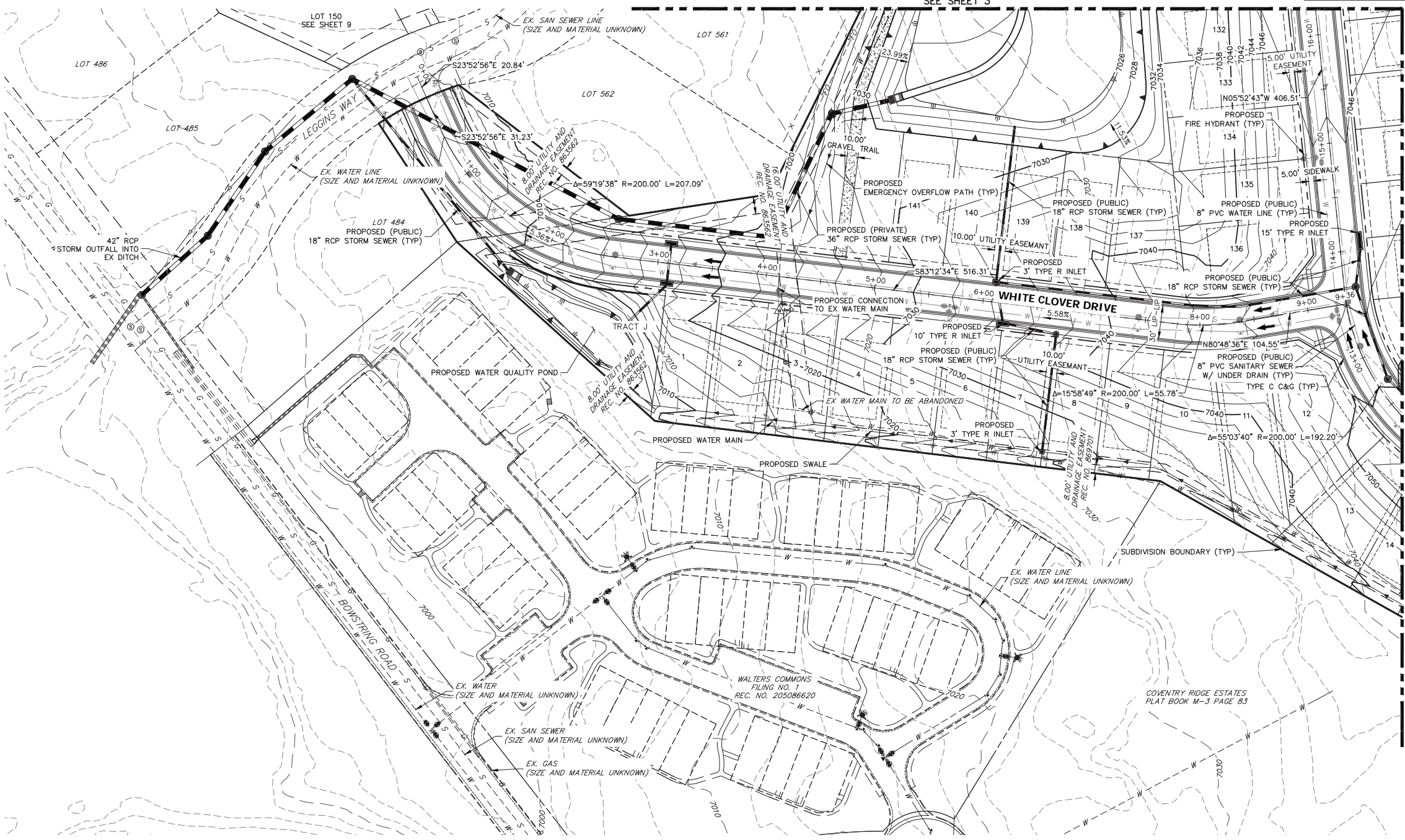
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CLOVERLEAF SUBDIVISION		PRELIMINARY GRADING PLAN	
SHEET	4	OF	10
JOB NO.	25158.01		

LOT GRADING TEMPLATES
N.T.S.



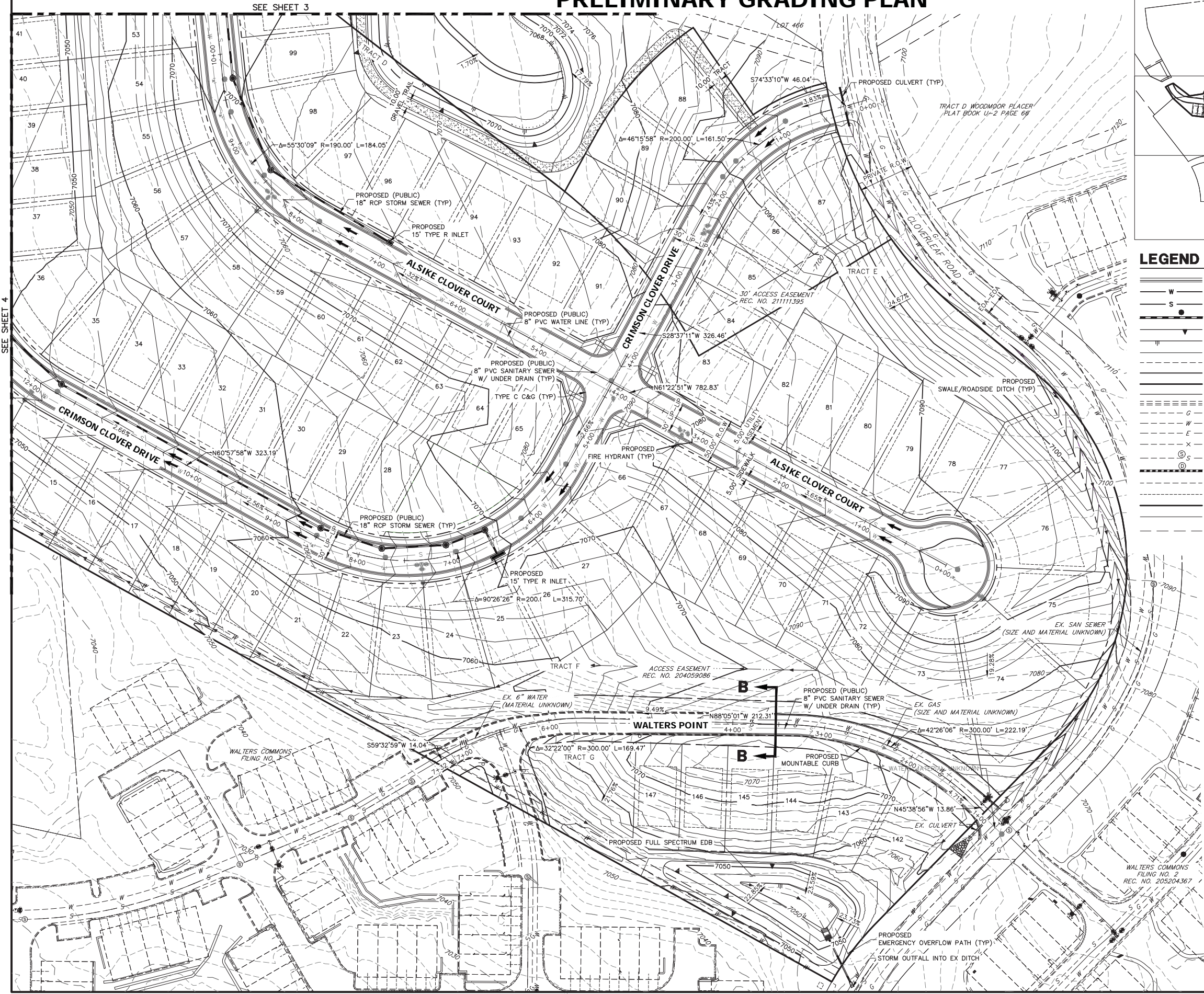
Know what's **below**.
Call before you dig.



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CLOVERLEAF SUBDIVISION

PRELIMINARY GRADING PLAN

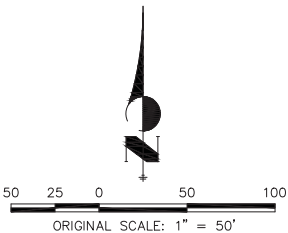


LEGEND

- | | | | |
|--|-----------------------------------|--|-------------------------------|
| | 6" VERT CATCH CURB W/ 1" PAN | | PROPOSED PLUG W/ THRUST BLOCK |
| | PROPOSED WATER LINE | | PROPOSED FIRE HYDRANT |
| | PROPOSED SANITARY SEWER LINE | | PROPOSED WATER TEE |
| | PROPOSED STORM SEWER W/MANHOLE | | PROPOSED WATER BEND |
| | PROPOSED TOP OF SLOPE | | PROPOSED FLARED END SECTION |
| | PROPOSED TOE OF SLOPE | | PROPOSED WATER VALVE |
| | PROPOSED RIGHT OF WAY | | EXISTING FIRE HYDRANT |
| | EASEMENT LINE | | EXISTING ELECTRIC PEDESTAL |
| | EXISTING RIGHT OF WAY | | EXISTING WATER MANHOLE |
| | EXISTING BOUNDARY LINE | | EXISTING TELEPHONE PEDESTAL |
| | EXISTING PROPERTY LINE | | EXISTING WATER VALVE |
| | EXISTING CURB & GUTTER | | EXISTING FIRE HYDRANT |
| | EXISTING GASLINE | | EXISTING VALVE |
| | EXISTING WATERLINE | | EXISTING STREET LIGHT |
| | EXISTING ELECTRIC LINE | | EXISTING SIGN |
| | EXISTING FENCE | | EXISTING TELEPHONE MANHOLE |
| | EXISTING SANITARY SEWER W/MANHOLE | | EXISTING FLARED END SECTION |
| | EXISTING STORM SEWER W/MANHOLE | | EXISTING WATER VALVE |
| | EXISTING EDGE OF ASPHALT | | |
| | EXISTING EDGE OF CONCRETE | | |
| | EXISTING BOUNDARY LINE | | |
| | EXISTING PROPERTY LINE | | |
| | EXISTING EASEMENT LINE | | |

KEY MAP

SCALE: N.T.S.



CLOVERLEAF SUBDIVISION

PRELIMINARY GRADING PLAN

SHEET 5 OF 10
JOB NO. 25158.01

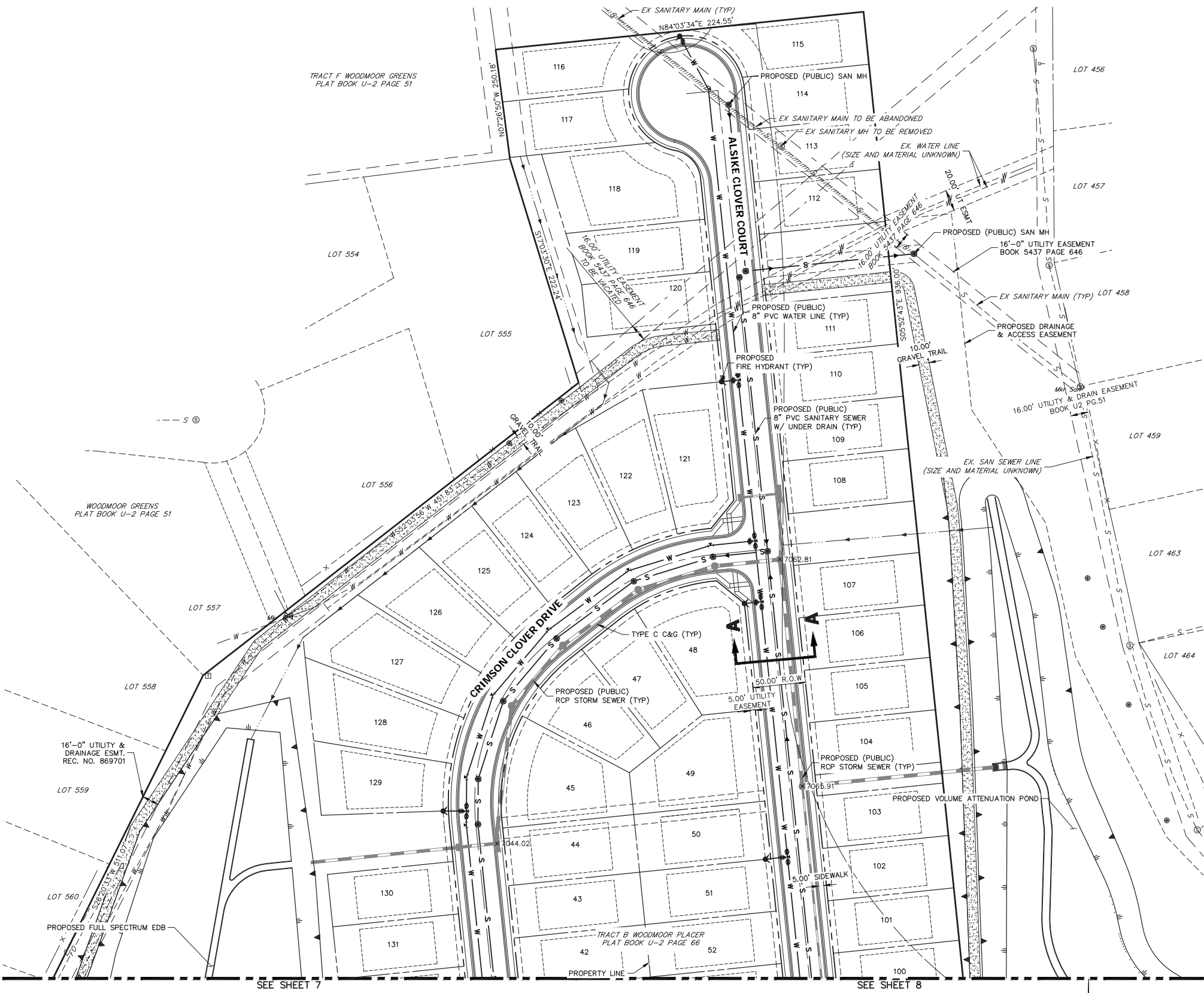
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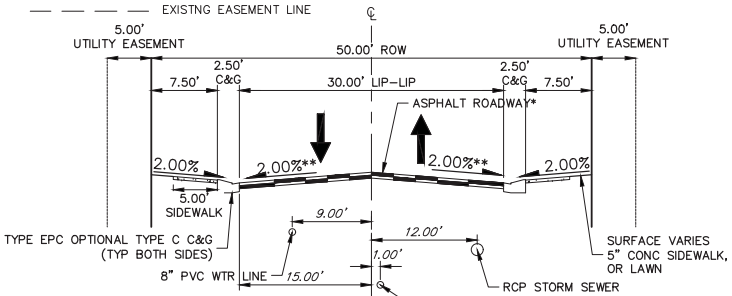
CLOVERLEAF SUBDIVISION
PRELIMINARY UTILITY PLAN



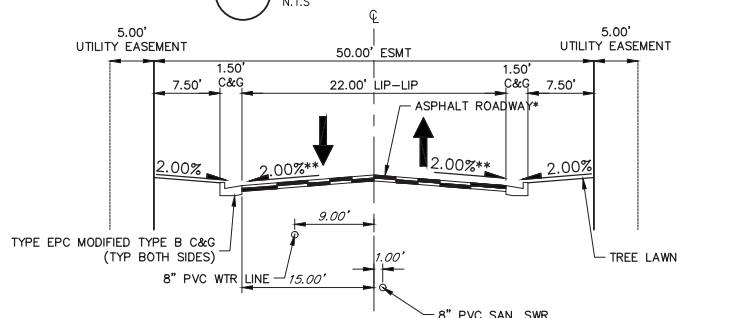
KEY MAP
SCALE: N.T.S.

LEGEND

- 6" VERT CATCH CURB W/ 1' PAN
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM SEWER W/MANHOLE
- PROPOSED TOP OF SLOPE
- PROPOSED TOE OF SLOPE
- PROPOSED RIGHT OF WAY
- EASEMENT LINE
- EXISTING RIGHT OF WAY
- EXISTING BOUNDARY LINE
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- EXISTING VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING TELEPHONE MANHOLE
- EXISTING FLARED END SECTION
- EXISTING WATER VALVE



A-A TYPICAL CROSS SECTION
N.T.S.



A-A CROSS SECTION - WALTERS POINT
N.T.S.



PRELIMINARY UTILITY PLAN NOTES

- ALL WATER AND SANITARY SEWER LINES SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED.

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

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No.	REVISION	BY	DATE
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H-SCALE	1"=50'
V-SCALE	N/A
DATE	05/21/20
DESIGNED BY	RB
DRAWN BY	JA
CHECKED BY	

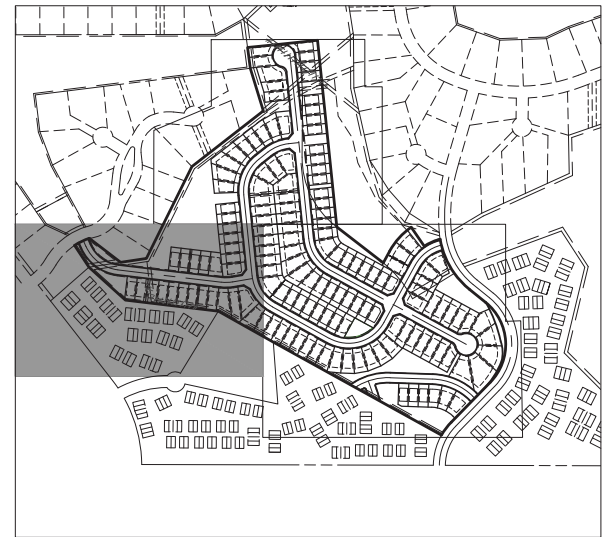
CLOVERLEAF SUBDIVISION
PRELIMINARY UTILITY PLAN

=====	6" VERT CATCH CURB W/ 1' PAN
=====	PROPOSED WATER LINE
=====	PROPOSED SANITARY SEWER LINE
=====	PROPOSED STORM SEWER W/MANHOLE
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-  EXISTING WATER VALVE

PRELIMINARY UTILITY PLAN NOTES

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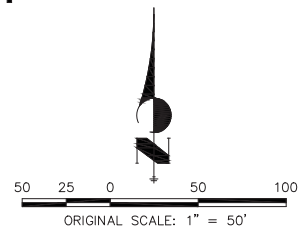
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				DESIGNED BY	RB		
				DRAWN BY	JA		
				CHECKED BY			

CLOVERLEAF SUBDIVISION
PRELIMINARY UTILITY PLAN

SHEET 7 OF 10

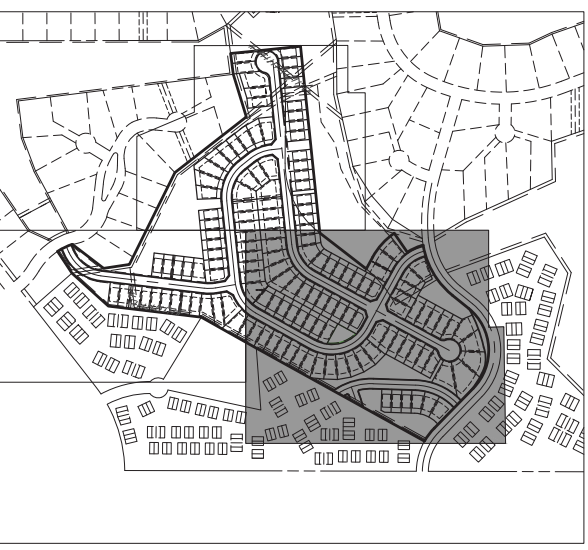
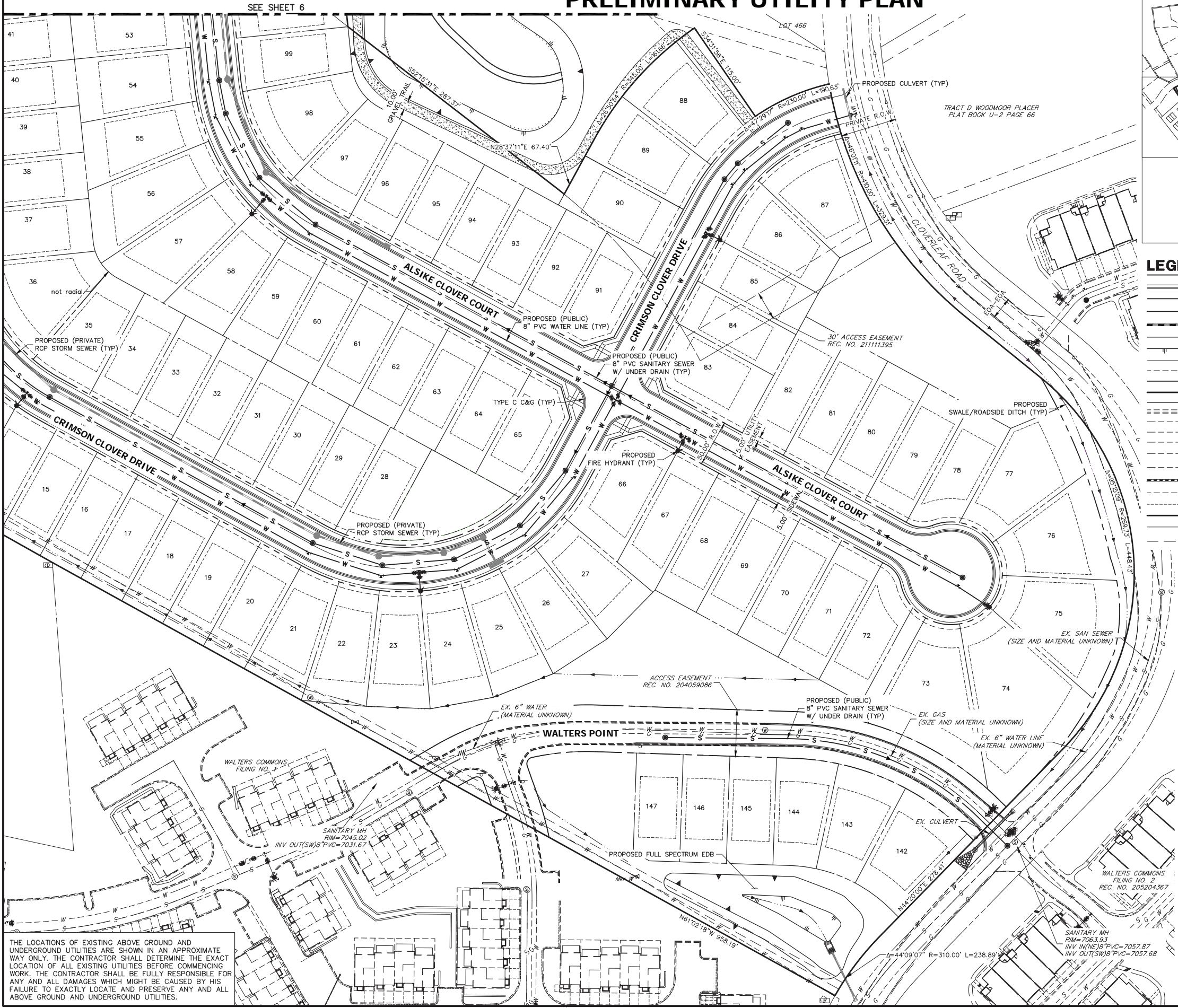
JOB NO. 25158.01

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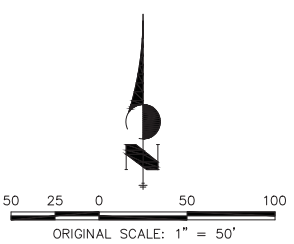
CLOVERLEAF SUBDIVISION
PRELIMINARY UTILITY PLAN



- LEGEND**
- 6" VERT CATCH CURB W/ 1" PAN
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H-SCALE	1"=50'
V-SCALE	N/A

DESIGNED BY	DATE	05/21/20
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CHECKED BY	JA	

CLOVERLEAF SUBDIVISION

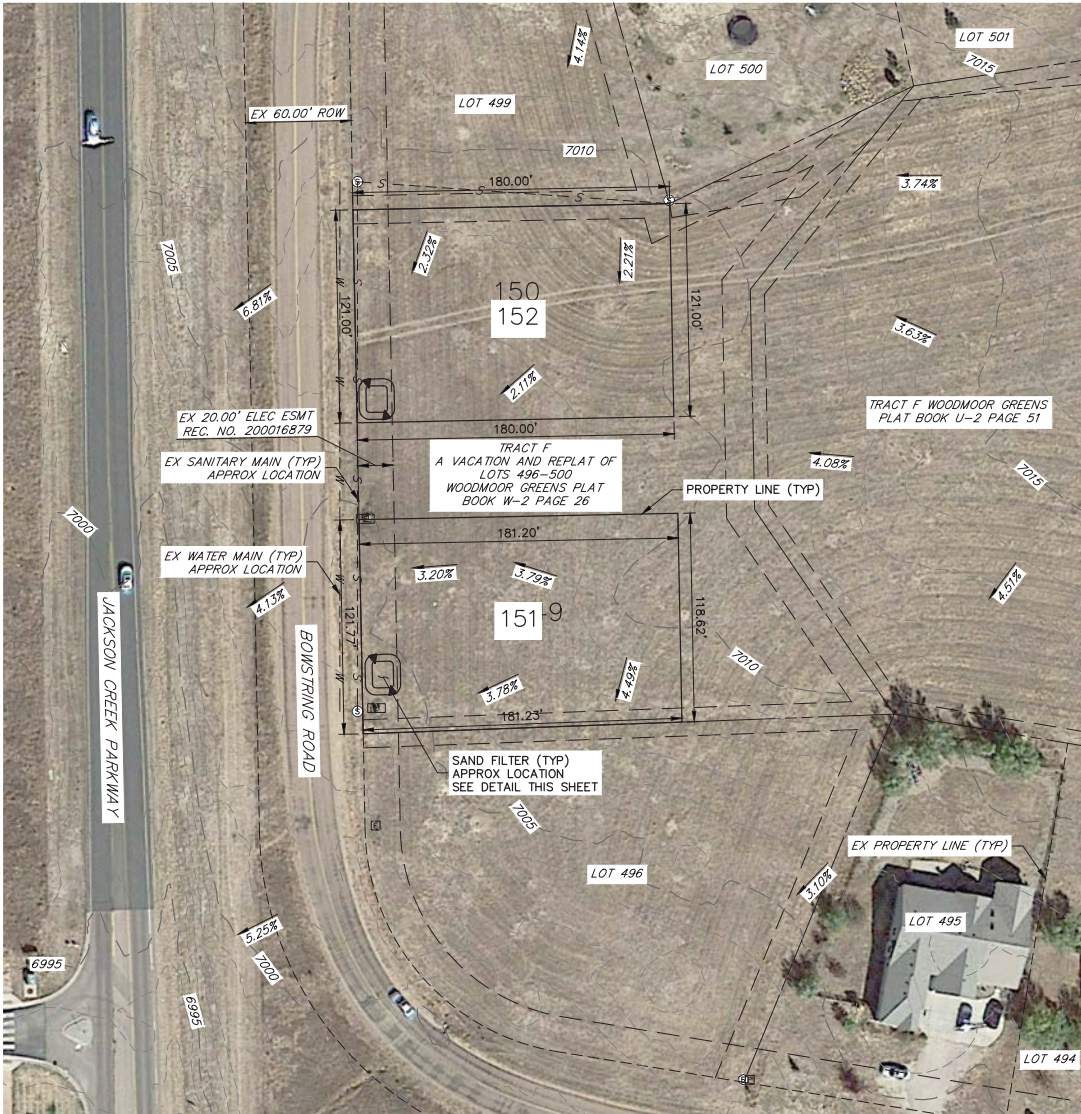
PRELIMINARY UTILITY PLAN

SHEET 8 OF 10

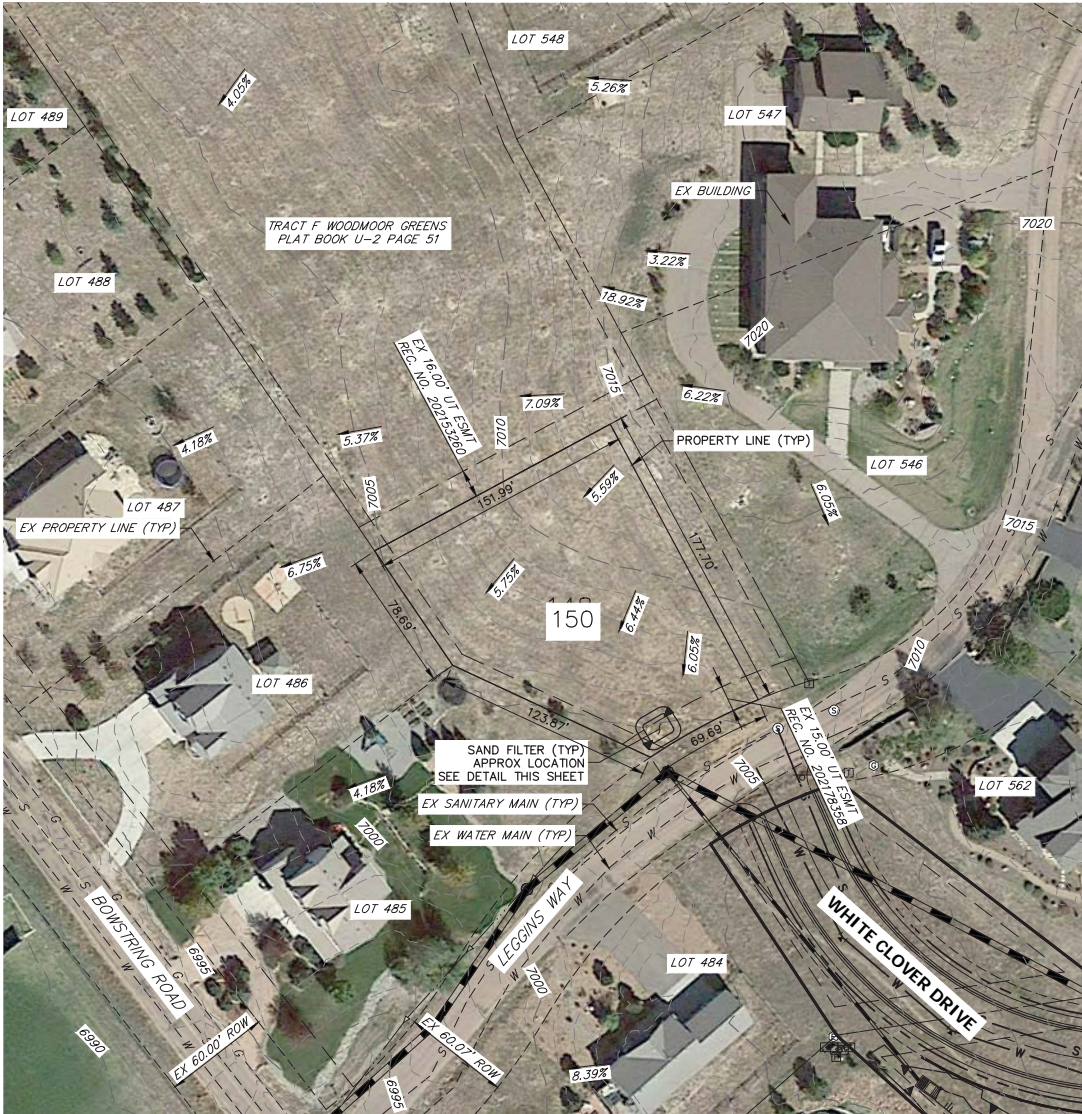
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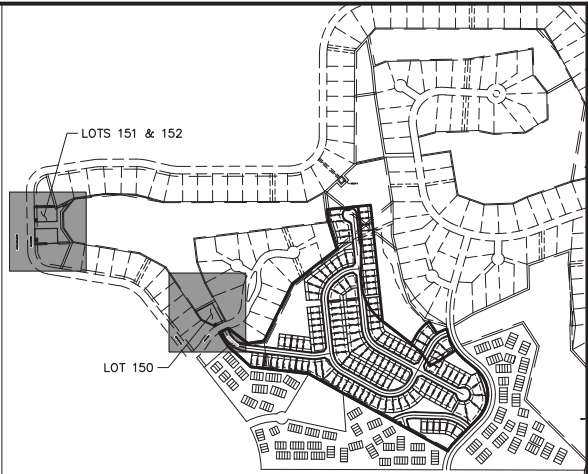
ISOLATED LOTS PRELIMINARY GRADING & UTILITY PLAN



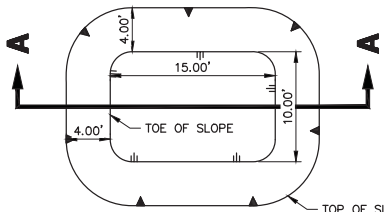
LOTS 151 & 152



LOT 150

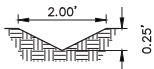


KEY MAP
SCALE: N.T.S.



SAND FILTER - PLAN VIEW

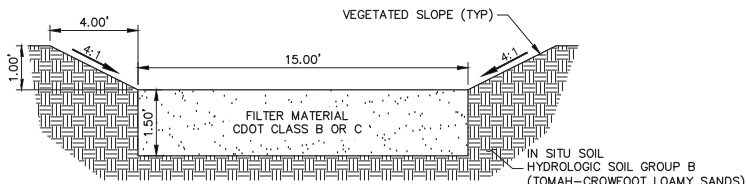
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SAND FILTER - SPILLWAY NOTCH

SCALE: N.T.S.

NOTE: SPILLWAY NOTCH IS TO BE LOCATED ON THE SIDE OF THE POND CLOSEST TO THE EXISTING ROADSIDE DITCH.



SAND FILTER - SECTION A-A

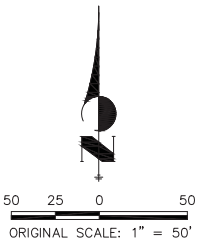
SCALE: N.T.S.

LEGEND

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- W PROPOSED WATER LINE
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- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING TELEPHONE MANHOLE
- EXISTING FLARED END SECTION
- EXISTING WATER VALVE

ISOLATED LOTS PRELIMINARY GRADING & UTILITY NOTES

- PROPOSED LOT GRADING IS NOT SHOWN ON THESE PLANS AND WILL ROUTE STORMWATER RUNOFF FROM EACH LOT TO THE PROPOSED SAND FILTER ON EACH LOT.
- PROPOSED WATER AND SANITARY SERVICES ARE NOT SHOWN ON THESE PLANS AND WILL CONNECT TO THE EXISTING PUBLIC MAINS WITHIN THE ADJACENT ROADWAY.



CLOVERLEAF SUBDIVISION

ISOLATED LOTS PRELIMINARY
GRADING & UTILITY PLAN

SHEET 9 OF 10

JOB NO. 25158.01

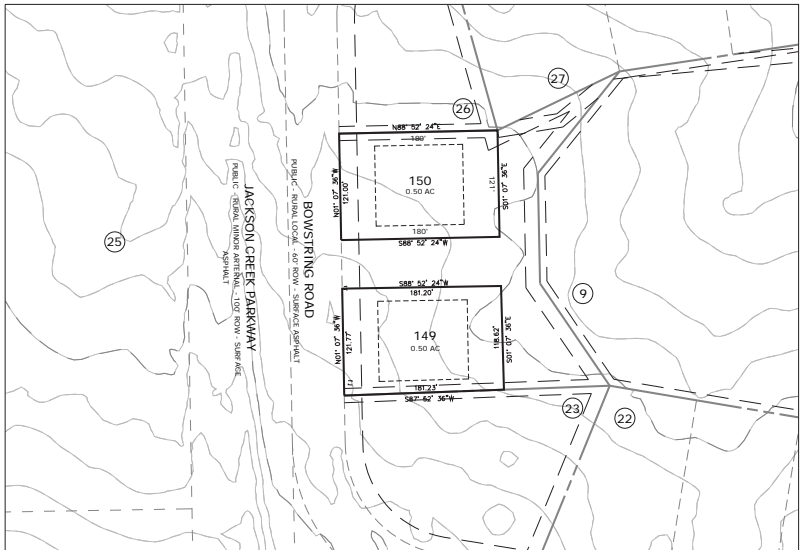
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AUTHORIZATION.



LOTS 151-152



ADJACENT OWNER IDENTIFICATION

1. Coleman, Brad 17235 Leggins Way Monument, CO 80132-8526 TSN 7123103006	10. Walters, Gary E Trust 4164 Austin Bluffs PKWY STE 315 Colorado Springs, CO 80918-2928 TSN 7124202237	19. Vidano Family Trust 1685 Bowstring Rd Monument, CO 80132-8627 TSN 7123102031
2. Hollingsworth, Brian 17245 Leggins Way Monument, CO 80132-8586 TSN 7123103005	11. Johnson, Milton S 19725 Soaring Wing Dr Colorado Springs, CO 80908-2307 TSN 7124203017	20. Wade, Corey G 1675 Bowstring Rd Monument, CO 80132-8627 TSN 7123102030
3. Becoya, Andrei 17265 Leggins Way Monument, CO 80132-8586 TSN 7123103004	12. Cross, Jacquelyn K 17285 Cloverleaf Rd Monument, CO 80132-8572 TSN 7124204003	21. Walters, Gary E Trust UTA 4164 Austin Bluffs PKWY STE 315 Colorado Springs, CO 80918-2928 TSN 7123102041
4. Campbell, Stacy 17285 Leggins Way Monument, CO 80132-8586 TSN 7123103003	13. Walters, Gary E Trust 4164 Austin Bluffs PKWY STE 315 Colorado Springs, CO 80918-2928 TSN 7124204029	22. Woodmoor Water & Sanitation PO Box 1407 Monument CO, 80132-1407 TSN 7123102046
5. Harvey, Robert 17325 Leggins Way Monument, CO 80132-8586 TSN 7123103002	14. Woodmoor Park Homeowners Assn In 10 N Meade Ave Colorado Springs, CO 80909-5654 TSN 7124204149	23. Miller, Steven W 1575 Bowstring Rd Monument CO, 80132-8626 TSN 7123102021
6. BRG 2013 LLC 2542 Antietam Ln Colorado Springs, CO 80924-1416 TSN 7123103001	15. Woodmoor Park Homeowners 4325 N Nevada Ave #100 Colorado Springs, CO 80907-4318 TSN 7124202235	24. Walters, Gary E Trust UTA 4164 Austin Bluffs PKWY STE 315 Colorado Springs, CO 80918-2928 TSN 7123102045
7. Sink, Kevin H Jr 17375 Leggins Way Monument, CO 80132-8586 TSN 7124202007	16. Country Ridge Estates HOA 4325 N Nevada Ave #100 Colorado Springs, CO 80907-4318 TSN 7124202038	25. Walters, Gary E Trust UTA 4164 Austin Bluffs PKWY STE 315 Colorado Springs, CO 80918-2928 TSN 7123102043
8. Recker, Benjamin C 17380 Leggins Way Monument, CO 80132-8586 TSN 7124202006	17. Woodmoor Park Homeowners 1975 Research PKWY STE 320 Colorado Springs, CO 80920-1055 TSN 7124202234	26. Schneker, Anthony A 1465 Bowstring Rd Monument, CO 80132-8617 TSN 7123102042
9. Walters, Gary E Trust UTA 4164 Austin Bluffs Pkwy STE 315 Colorado Springs, CO 80918-2928 TSN 7123102041	18. Sandy, Christopher Key 17205 Leggins Way Monument, CO 80132-8586 TSN 7123103008	27. M&AM Living Trust 1445 Bowstring Rd Monument, CO 80132-8617 TSN 7123102015

Land Planning
Landscape
Architecture
Urban Design



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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CLOVERLEAF
SUBDIVISION

CLOVERLEAF ROAD
EL PASO COUNTY,
COLORADO

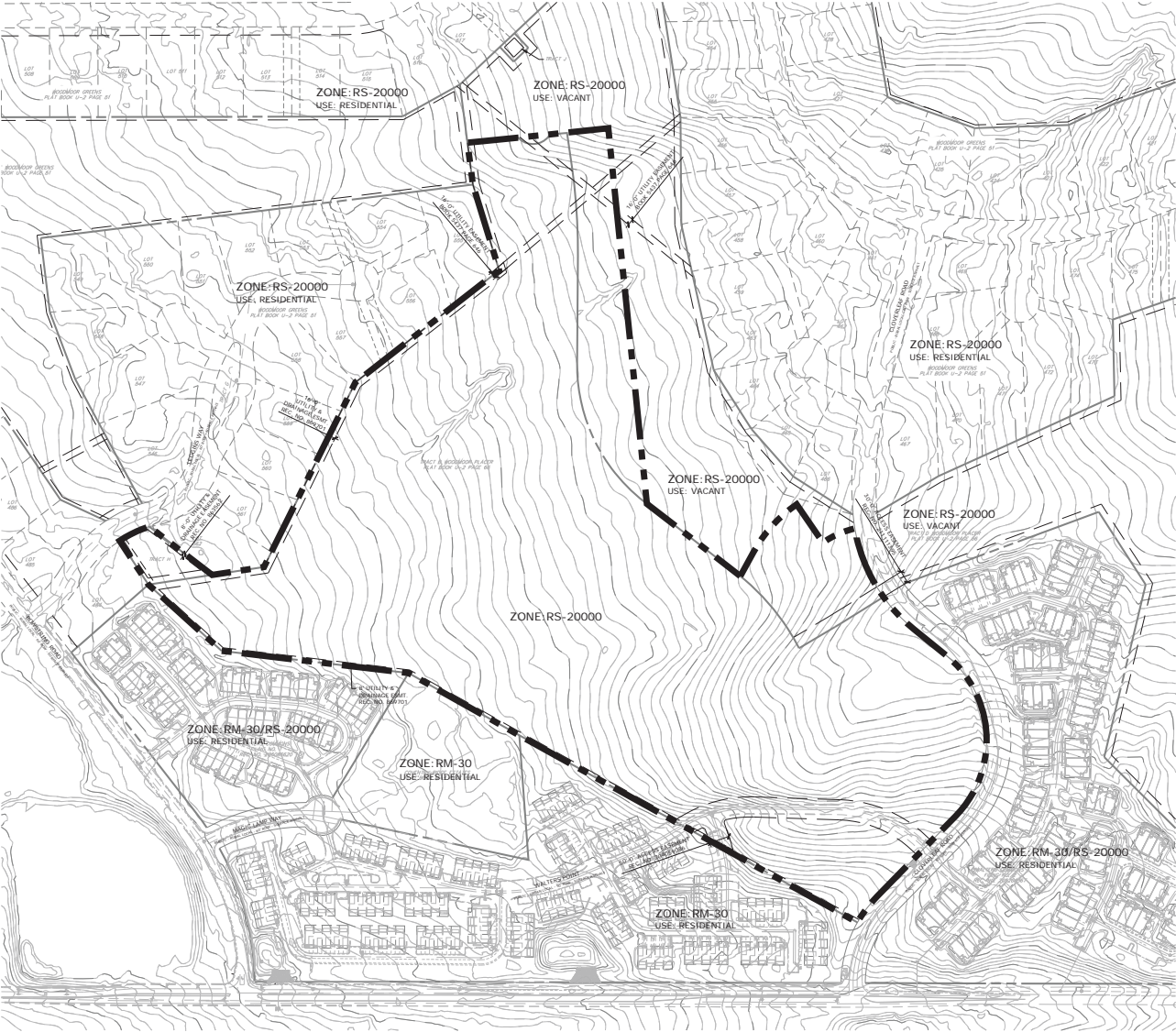
DATE: 6/1/2020
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

PRELIMINARY
PLAN

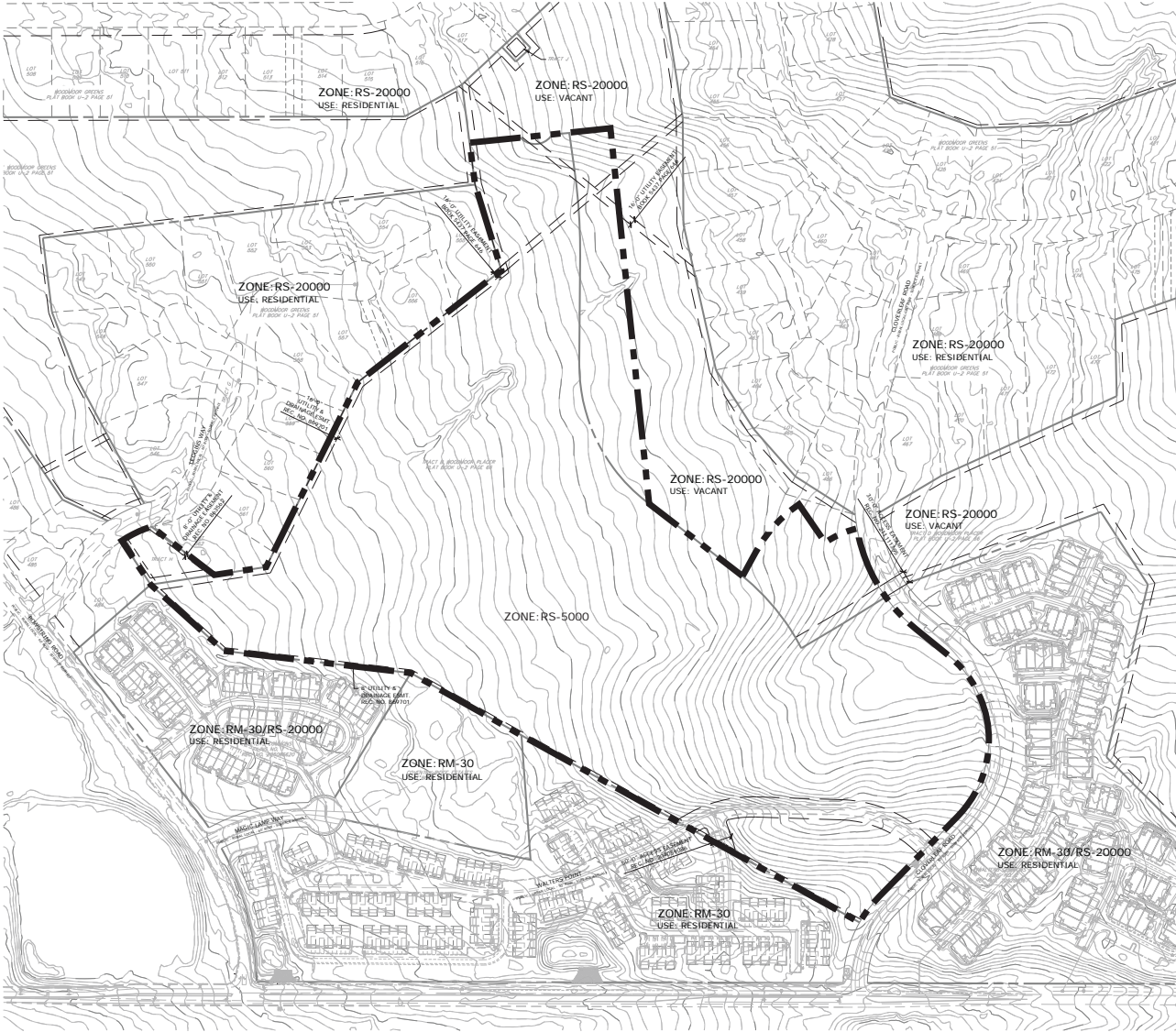
DATE:	BY:	DESCRIPTION:

ADJACENT
PROPERTY
OWNERS

10
10 OF 10



1 EXISTING ZONING



2 PROPOSED ZONING

LEGAL DESCRIPTION

PARCEL 1

A PARCEL OF LAND BEING ALL OF THAT PROPERTY DESCRIBED IN THE DEED RECORDED UNDER RECEPTION NO. 211111394 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, BEING A PORTION OF TRACT B, WOODMOOR PLACER RECORDED IN BOOK U-2 AT PAGE 66, TOGETHER WITH ALL OF TRACT H, WOODMOOR GREENS RECORDED IN BOOK U-2 AT PAGE, LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE LINE BETWEEN THE 30'00" WITNESS CORNER TO THE CENTER QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 10377 1997 30.00 WC" AND THE 30'0" REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SAID SECTION 23, MONUMENTED BY A 1-1/2" ALUMINUM CAP STAMPED "LS 2692", SAID LINE BEARING S89°54'49"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE.

COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN:

- THENCE N23°36'18"W A DISTANCE OF 971.92 FEET, TO A POINT ON THE SOUTHWESTERLY LINE OF TRACT B, WOODMOOR PLACER RECORDED IN BOOK U-2 AT PAGE 66 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER;
- THENCE ON SAID SOUTHWESTERLY LINE, N47°53'03"W A DISTANCE OF 244.83 FEET, TO THE SOUTHWESTERLY CORNER OF TRACT H, WOODMOOR GREENS PLAT RECORDED IN BOOK U-2 AT PAGE 51;
- THENCE ON THE PERIMETER OF SAID TRACT H, THE FOLLOWING THREE (3) COURSES:
1. N33°23'09"W A DISTANCE OF 130.11 FEET, TO A POINT OF NON-TANGENT CURVE, ON THE SOUTHERLY RIGHT-OF-WAY LINE OF LEGGINS WAY;
 2. ON SAID SOUTHERLY RIGHT-OF-WAY LINE, ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S33°24'06"E, HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 15°37'05" AND AN ARC LENGTH OF 81.78 FEET, TO A POINT OF NON-TANGENT;
 3. S52°28'59"E A DISTANCE OF 196.68 FEET, TO A POINT ON THE WESTERLY LINE OF SAID TRACT B, WOODMOOR PLACER;
- THENCE ON SAID WESTERLY LINE, THE FOLLOWING FIVE (5) COURSES:
1. N81°20'01"E A DISTANCE OF 130.03 FEET;
 2. N26°20'33"E A DISTANCE OF 511.07 FEET;
 3. N52°03'56"E A DISTANCE OF 451.83 FEET;
 4. N17°03'30"W A DISTANCE OF 222.24 FEET;
 5. N07°26'50"W A DISTANCE OF 104.67 FEET;
- THENCE DEPARTING THE WESTERLY LINE OF SAID TRACT B, THE FOLLOWING TWELVE (12) COURSES:
1. N84°15'58"E A DISTANCE OF 126.43 FEET, TO A POINT OF NON-TANGENT CURVE;
 2. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N46°46'54"E, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 105°01'39" AND AN ARC LENGTH OF 91.65 FEET, TO A POINT OF NON-TANGENT;
 3. N85°02'46"E A DISTANCE OF 42.49 FEET;
 4. S08°08'16"E A DISTANCE OF 85.83 FEET, TO A POINT OF CURVE;
 5. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1,470.00 FEET, A CENTRAL ANGLE OF 08°35'03" AND AN ARC LENGTH OF 220.24 FEET, TO A POINT OF TANGENT;
 6. S00°26'47"W A DISTANCE OF 266.67 FEET, TO A POINT OF CURVE;
 7. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 52°42'18" AND AN ARC LENGTH OF 395.55 FEET, TO A POINT OF TANGENT;
 8. S52°15'31"E A DISTANCE OF 287.37 FEET, TO A POINT OF CURVE;
 9. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 570.00 FEET, A CENTRAL ANGLE OF 24°42'05" AND AN ARC LENGTH OF 245.74 FEET, TO A POINT OF NON-TANGENT;
 10. N59°24'51"E A DISTANCE OF 103.30 FEET, TO A POINT OF CURVE;
 11. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 780.00 FEET, A CENTRAL ANGLE OF 01°14'02" AND AN ARC LENGTH OF 16.80 FEET, TO A POINT OF TANGENT;
 12. N58°10'49"E A DISTANCE OF 124.49 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF CLOVERFIELD ROAD, SAID POINT BEING A POINT OF NON-TANGENT CURVE;
- THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE, THE FOLLOWING FIVE (5) COURSES:
1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N54°21'17"E, HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 15°15'51" AND AN ARC LENGTH OF 109.23 FEET, TO A POINT OF NON-TANGENT;
 2. S50°58'07"E A DISTANCE OF 104.84 FEET, TO A POINT OF NON-TANGENT CURVE;
 3. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S39°04'09"W, HAVING A RADIUS OF 269.73 FEET, A CENTRAL ANGLE OF 95°15'09" AND AN ARC LENGTH OF 448.43 FEET, TO A POINT OF NON-TANGENT;
 4. S44°20'00"W A DISTANCE OF 278.41 FEET, TO A POINT OF NON-TANGENT CURVE;
 5. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S45°13'59"E, HAVING A RADIUS OF 310.00 FEET, A CENTRAL ANGLE OF 15°03'35" AND AN ARC LENGTH OF 81.48 FEET, TO A POINT OF NON-TANGENT, SAID POINT BEING ON THE SOUTHERLY LINE OF SAID TRACT B, WOODMOOR PLACER;
- THENCE ON SAID SOUTHERLY LINE, THE FOLLOWING THREE (3) COURSES:
1. N61°02'18"W A DISTANCE OF 958.19 FEET;
 2. N60°38'25"W A DISTANCE OF 314.83 FEET;
 3. N83°12'34"W A DISTANCE OF 466.58 FEET, TO THE POINT OF BEGINNING;

CONTAINING A CALCULATED AREA OF 1,452,072 SQUARE FEET OR 33.3350 ACRES.

PARCEL 2-4

COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN: THENCE N27°54'57"E A DISTANCE OF 1420.57 FEET, TO A POINT ON THE EASTERLY LINE OF THAT PROPERTY DESCRIBED IN THE TRUSTEE'S DEED RECORDED UNDER RECEPTION NO. 211111394 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, SAID POINT BEING THE POINT OF BEGINNING;

- THENCE ON THE PERIMETER OF SAID PROPERTY THE FOLLOWING SEVEN (7) COURSES:
1. N52°15'31"W A DISTANCE OF 7.98 FEET, TO A POINT OF CURVE;
 2. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 52°42'18" AND AN ARC LENGTH OF 395.55 FEET, TO A POINT OF TANGENT;
 3. N00°26'47"E A DISTANCE OF 266.67 FEET, TO A POINT OF CURVE;
 4. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1470.00 FEET, A CENTRAL ANGLE OF 08°35'03" AND AN ARC LENGTH OF 220.24 FEET, TO A POINT OF TANGENT;
 5. N08°08'16"W A DISTANCE OF 85.83 FEET;
 6. S85°02'46"W A DISTANCE OF 42.49 FEET, TO A POINT OF NON-TANGENT CURVE;
 7. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N58°14'45"W, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 105°01'39" AND AN ARC LENGTH OF 91.65 FEET, TO A POINT OF NON-TANGENT;
- THENCE DEPARTING SAID PROPERTY THE FOLLOWING TWO (2) COURSES:
1. N84°03'34"E A DISTANCE OF 224.55 FEET;
 2. S05°52'43"E A DISTANCE OF 936.00 FEET, TO THE POINT OF BEGINNING.
- CONTAINING A CALCULATED AREA OF 101,309 SQUARE FEET OR 2.3257 ACRES.

PARCEL 2-5

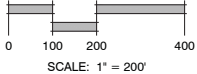
COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN: THENCE N50°42'25"E A DISTANCE OF 1617.14 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF CLOVERLEAF ROAD, SAID POINT BEING ON THE NORTHERLY LINE OF THAT PROPERTY DESCRIBED IN THE TRUSTEE'S DEED RECORDED UNDER RECEPTION NO. 211111394 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER AND THE POINT OF BEGINNING;

- THENCE ON THE NORTHERLY LINE OF SAID PROPERTY THE FOLLOWING FOUR (4) COURSES:
1. S58°10'49"W A DISTANCE OF 124.49 FEET, TO A POINT OF CURVE;
 2. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 780.00 FEET, A CENTRAL ANGLE OF 01°14'02" AND AN ARC LENGTH OF 16.80 FEET, TO A POINT OF TANGENT;
 3. S59°24'51"W A DISTANCE OF 103.30 FEET, TO A POINT OF NON-TANGENT CURVE;
 4. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S62°26'34"W, HAVING A RADIUS OF 570.00 FEET, A CENTRAL ANGLE OF 23°19'20" AND AN ARC LENGTH OF 232.02 FEET, TO A POINT OF NON-TANGENT;
- THENCE DEPARTING SAID NORTHERLY PROPERTY LINE, THE FOLLOWING FIVE (5) COURSES:
1. N28°37'11"E A DISTANCE OF 67.40 FEET, TO A POINT OF CURVE;
 2. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 345.00 FEET, A CENTRAL ANGLE OF 26°50'54" AND AN ARC LENGTH OF 161.66 FEET, TO A POINT OF NON-TANGENT;
 3. S34°31'56"E A DISTANCE OF 115.00 FEET, TO A POINT OF NON-TANGENT CURVE;
 4. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S34°31'56"E, HAVING A RADIUS OF 230.00 FEET, A CENTRAL ANGLE OF 19°25'04" AND AN ARC LENGTH OF 77.95 FEET, TO A POINT OF TANGENT;
 5. N74°53'09"E A DISTANCE OF 8.95 FEET, TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF CLOVERLEAF ROAD, SAID POINT BEING A POINT OF NON-TANGENT CURVE;
- THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N80°18'27"E, HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 25°57'10" AND AN ARC LENGTH OF 185.71 FEET, TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 67,905 SQUARE FEET OR 1.5589 ACRES.

SITE DATA

OWNERS:	Walters Gary E Trust 4164 Austin Bluffs Pkwy Ste 315 Colorado Springs CO, 80918-2928
	Walters Family Partnership LLP 10720 Arrowgrass Loop Peyton CO, 80831-6864
SUBDIVIDER / APPLICANT:	ProTerra Properties LLC 1864 Woodmoor Drive, Suite 100 Monument, CO 80132
PREPARER:	N.E.S. Inc. 619 N Cascade Ave., Suite 200 Colorado Springs, CO 80903
TAX ID NUMBER:	7124202236, 7124202237
SITE ACREAGE:	37.219 AC
EXISTING ZONING:	RS-20000
PROPOSED ZONING:	RS-5000
PROPOSED LAND USE:	Residential Lots: 23.923 AC, 149 Lots Open Space : 4.281 acres Stormwater Detention : 2.088 acres ROW: 6.927 acres



Land Planning
Landscape
Architecture
Urban Design



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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PLANNER LANDSCAPE ARCHITECT

IN ADOPTED TOWN

CLOVERLEAF SUBDIVISION

CLOVERLEAF ROAD
EL PASO COUNTY,
COLORADO

PROJECT INFO

DATE: 5/1/2020
PROJECT MGR: A. BARLOW
PREPARED BY: B. SWENSON

SHEET

REZONE MAP

SHEET INFO

DATE:	BY:	DESCRIPTION:

SHEET NUMBER

REZONE MAP

1
1 OF 2

PLANTER #

El Paso County Park Advisory Board

Agenda Item Summary Form

Agenda Item Title: COVID – 19 Updates

Agenda Date: July 8, 2020

Agenda Item Number: #7 - A

Presenter: Tim Wolken, Director

Information: X **Endorsement:**

The Board of County Commissioners submitted a variance to the existing Public Health Order which has been approved by the State of Colorado with modifications. The key issues that impact County Parks include:

- Nature center exhibit areas may re-open at 50% of approved occupancy.
- Pavilion use has been expanded based on a formula that includes 28 square feet person at 50% capacity. Please see attached spreadsheet.
- Outdoor special events can be conducted at 50% capacity with six-foot social distancing between family units with a limit of 250 participants. We are currently researching whether this will allow us to resume summer concerts.

Recommended Motion:

Information Only

El Paso County Parks
Pavilion Use Capacities / COVID - 19
As of June 30, 2020

Location	Square Footage	Occupancy Formula - 28 square feet person	50% of Occupancy or 10 persons	Estimated Use Without Restrictions
Bear Creek Regional Park				
Pavilion 1	3847	137	69	80 - 100
Pavilion 2	1963	70	35	60 - 75
Pavilion 3	1134	41	20	50 - 60
Pavilion 4	962	34	17	50 - 60
Pavilion 5	962	34	17	50 - 60
Pavilion 6	314	11	10	10 - 15
Pavilion 7	314	11	10	10 - 15
Pavilion 8	314	11	10	10 - 15
Homestead Ranch Regional Park				
Large Pavilion	2016	72	36	50 - 60
Small Pavilion	704	25	13	15 - 20
Fountain Creek Regional Park				
Pavilion 1	2826	101	51	80 - 100
Pavilion 2	962	34	17	50 - 60
Pavilion 3	962	34	17	50 - 60
Pavilion 4 - drop in	490	18	10	20 - 30
Pavilion 5	314	11	10	10 - 15
Pavilion 6	314	11	10	10 - 15
Willow Springs - Small Pavilions	191	7	10	10 - 15
Fox Run Regional Park				
Pavilion 1	962	34	17	50 - 60
Pavilion 2	962	34	17	50 - 60
Pavilion 3	962	34	17	50 - 60
Pavilion 4	962	34	17	50 - 60
Pavilion 5	962	34	17	50 - 60
Black Forest Regional Park				
Pavilion 1	962	34	17	50 - 60
Pavilion 2	962	34	17	50 - 60

El Paso County Park Advisory Board

Agenda Item Summary Form

Agenda Item Title: Happy Trails Fundraising Event

Agenda Date: July 8, 2020

Agenda Item Number: #7 - B

Presenter: Todd Marts, Recreation & Cultural Services Manager

Information: X **Endorsement:**

Background Information:

Happy Trails is the annual fundraising event for the El Paso County Nature Centers held in August of each year. The event started in 2010 in partnership with the Trails and Open Space Coalition and the Friends of El Paso County Nature Centers to address budget shortfalls.

The event attracts 125 –150 participants and has consistently raised over \$7,000 each year. This year's events goal is \$8,000 to support both Nature Centers. Overall, the fundraiser has generated \$100,000 since its inception. The nature centers programming and capital improvements are dependent on this annual fundraiser.

Julia Sands de Melendez, Anne Schofield and many former Park Advisory Board members have supported the event as table captains and I would like to cordially invite you to join us as table captains in 2020. Table captains bring six people and can choose to donate \$270 for the table or have each guest pay the \$45 per person.

The success of the fundraiser is dependent on the support from the members of the Park Advisory Board staff and Friends of the El Paso County Nature Centers as table captains, as well as food and drinks donated from local restaurants.

The main course is provided by Buffalo Gals Catering. We will be having a virtual fundraiser this year with details to come.

Date: Friday, August 21, 2020 - Evening

Location: Virtual

Cost: Table of 6 = \$270 -- Individual = \$45

Program: Live Music, Nature Campers, and video

Recommended motion:

Information Only

**El Paso County Parks
2020 Action Plan**

Recreation / Cultural Services	Project Manager	Priority	Status
Expanded Scout Programs	Mary Jo Lewis	Medium	
Expanded Paint Mines Interpretive Park Programming	Todd Marts	High	
Tracking Exhibit	Mary Jo Lewis	Medium	
Pollinator Garden Upgrades	Mary Jo Lewis		Completed
Greenback Cutthroat Trout Exhibit Upgrades	Mary Jo Lewis		Completed
Pikes Peak Birding Festival / New Registration System	Theresa Odello		Tabled
County Fair Entrance Procedure Upgrades	Todd Marts		Tabled
Outdoor Safety Series	Theresa Odello		Completed
Expanded Summer Concert Series	Theresa Odello		Completed
Naturalist Nook Upgrades	Nancy Bernard		Completed
Taxidermy Mounts	Nancy Bernard		Completed
Birding 101 Program	Jessica Miller		Completed
Littering Exhibit	Jessica Miller	High	
El Paso County Fair Action Plan	Todd Marts		Tabled
Innovative Programming Plan	Todd Marts		Completed
Northern Nature Center - Interpretive Plan	Todd Marts	High	
Volunteer Recruitment Program	Todd Marts	Medium	
Park Operations Division	Project Manager	Priority	Status
Develop Individual Park Operation Plans	Brian Bobeck	Medium	
Signage Assessment and Inventory Plan	Brian Bobeck	Medium	
Paint Mines Interpretive Park Master Plan (west)	Ross Williams	Medium	
Santa Fe Open Space Master Plan	Ross Williams	High	
Jones Park Master Plan	Brian Bobeck	High	
Ute Pass Regional Trail Expansion - Planning	Jason Meyer	High	
Fox Run Regional Trail Planning	Jason Meyer	Medium	Planning Phase
Establish a Planning Division Internship Program	Jason Meyer	High	
Feasibility Study to Expand GIS Use	Ross Williams	Medium	
Explore Use of Art Murals	Brian Bobeck	High	
Venetucci Farm Proposal	Tim Wolken	Medium	
Capital Improvement Projects	Project Manager	Priority	Status
Fountain Creek Bank Stabilization Project (Willow Springs)	Jason Meyer		Completed
Hanson Trailhead Improvements	Jason Meyer	High	Bid Phase
Widefield Community Park Improvements - Phase II	Ross Williams	High	Construction Phase
Pineries Open Space Forestry Project	Brian Bobeck		Completed
Kane Ranch Open Space - Phase 1	Ross Williams	High	Bid Phase
Bear Creek Regional Park / Restroom Replacement	Jason Meyer	High	Design Phase
Bear Creek Regional Park / Pickleball Courts	Brian Bobeck	High	Construction Phase
Falcon Regional Park - Phase 2	Jason Meyer	High	Planning Phase
Eastonville Regional Trail	Jason Meyer		Completed
Christian Open Space - Creekside Restoration	Jason Meyer	High	Construction Phase

Fairgrounds Walkways	Brian Bobeck	High	Fundraising Phase
Rock Island Regional Trailhead Upgrades	Greg Stachon	High	Bid Phase
Palmer Lake Recreation Area Upgrades	Greg Stachon	High	Bid Phase
Creekside Room Upgrades	Deb Reid		Tabled
Swink Hall Office Upgrades	Scott Myers	High	Construction Phase
Homestead Ranch Regional Park - Landscape Upgrades	Greg Stachon	Medium	Planning Phase
Community Outreach Division	Project Manager	Priority	Status
Northern Nature Center Capital Campaign	Christine Burns	Low	
2020 Grant Applications	Christine Burns	High	Ongoing
County Parks 50th Anniversary Planning	Tim Wolken / Christine Burns	High	Ongoing
Facility Naming Rights Project	Tim Wolken / Christine Burns	High	Approval Phase

**Community Services Department
Parks / Recreation & Cultural Services Divisions
June 2020 Monthly Report**

<u>Facility Revenue Totals To Date</u>		2020				2019
		<u>Budget</u>	<u>Current</u>	<u>Balance</u>		<u>Totals to Date</u>
Parks Facility Reservation Revenue		\$ 180,000	\$ 74,985	\$ 105,015		\$ 137,994
County Fair / Fairgrounds		\$ 301,000	\$ 87,119	\$ 213,881		\$ 142,961
Total		\$ 481,000	\$ 162,104	\$ 318,896		\$ 280,955
<u>Fundraising Revenue</u>		2020				2019
	<u>Purpose</u>	<u>Goal</u>	<u>Amount</u>	<u>Balance</u>		<u>Totals to Date</u>
County Fair Sponsorships	Fair Operations	\$ 15,000	\$ 20,000	\$ (5,000)		\$ 85,000
Partners in the Park Program	Park Operations	\$ 35,000	\$ 37,500	\$ (2,500)		\$ 30,000
Trust for County Parks	Park Operations	\$ 10,000	\$ 23,098	\$ (13,098)		\$ 20,750
Nature Center Fundraising	Nature Center Support	\$ 25,000	\$ 10,680	\$ 14,320		\$ 5,327
County Fairgrounds Support (Fairgrounds Corp)	Programming/Facility Support	\$ 40,000	\$ 40,000	\$ -		\$ 48,000
Total		\$ 125,000	\$ 131,278	\$ (6,278)		\$ 189,077
<u>Grant / 3rd Party Funding</u>		<u>Awarded</u>				
Fountain Creek Watershed District	Hanson Trailhead	\$ 750,000				
City of Fountain	Hanson Trailhead	\$ 25,000				
Trust for Public Lands	Ute Pass Regional Trail	\$ 50,000				
Great Outdoors Colorado	Falcon Regional Park	\$ 350,000				
CARES	Nature Centers	\$ 16,500				
CARES	Park Restrooms	\$ 536,628				
CARES	Paint Mines Interpretive Park	\$ 475,000				
Colorado Parks & Wildlife	BCRP Archery Range	\$ 15,000				
Total		\$ 2,218,128				
<u>Parks Division Reservations</u>		2020			2019	2019
<u>Year to Date</u>		<u>Rentals</u>	<u>Attendance</u>	<u>Evaluation</u>	<u>Rentals</u>	<u>Attendance</u>
January		4	41	N/A	9	110
February		12	879	N/A	14	546
March		6	44	N/A	15	192
April		0	0	N/A	186	9519
May		47	274	N/A	338	18036
June		294	2869	N/A	517	23048
July						
August						
September						
October						
November						
December						
Total		363	4107		1079	51451

<u>Parks Facility Reservations</u>	2020			2019	2019
<u>June</u>		<u>Rentals</u>	<u>Attendance</u>	<u>Rentals</u>	<u>Attendance</u>
<u>Bear Creek Regional Park</u>					
Archery Lanes		72	120	57	343
Athletic Fields		11	275	41	3270
Pavilions		65	793	119	5958
Trails				3	30
Vendor				3	6
Tennis Courts					
Vita Course					
Meeting Room		4	34	11	109
<u>Black Forest Regional Park</u>					
Athletic Fields				20	3450
Pavilions		13	229	28	1250
Vendor					
Tennis Courts		31	124	33	132
<u>Falcon Regional Park</u>					
Baseball Fields				24	480
<u>Fountain Creek Regional Park</u>					
Athletic Fields				5	300
Pavilions		17	166	36	1757
Trails					
Disc Golf Course					
Vendor					
<u>Fox Run Regional Park</u>					
Athletic Fields		5	125	13	680
Gazebo		9	219	9	550
Warming Hut		11	149	8	97
Pavilions		40	522	85	3910
Trails		1	10	1	30
<u>Homestead Ranch Regional Park</u>					
Pavilions		6	60	14	452
Athletic Fields				1	200
Trails					
<u>Palmer Lake Recreational Area</u>					
Palmer Lake Santa Fe Trail					
<u>New Santa Fe Trail</u>					
Monument Trail Head New Santa Fe Trail					
Baptist Road Santa Fe Trail					
AFA Santa Fe Trail					
Vendor - Santa Fe Trailheads					
<u>Paint Mines Trail</u>		9	43	6	44
<u>Rock Island Trail</u>					
<u>Black Forest Section 16</u>					
Total Park Facility Reservations		294	2869	517	23048

Fairgrounds Facility Reservations	2020			2019	2019	
Year to Date		Rentals	Attendance	Evaluation	Rentals	Attendance
January		9	478		8	447
February		12	271		16	782
March		3	170		17	846
April		0	0		23	3213
May		0	0		15	3519
June		20	410		29	2931
July						
August						
September						
October						
November						
December						
Total		44	1,329		108	11,738
Fairgrounds Facility Reservations						
		2020		2019		
	June	Rentals	Attendance	Rentals	Attendance	
Swink Hall - Fairgrounds						
Fair Corporation Meeting		0	0	1	5	
Lions Club Meeting		0	0	1	20	
FAB Board Meeting		1	5	1	46	
Senior Dinner		0	0	1	38	
COC Meeting		0	0	1	20	
Garza Farms				7	56	
Pikes Peak Library				3	13	
Darrell West - Family Reunion				1	50	
Fair - Pre-Sale				1	50	
South Kitchen - Grandstand						
Garza Farms		17	85			
Grounds						
Track						
Race		2	320	1	2173	
Barns						
Livestock Arena						
Goat Clinic				1	30	
LAC Meeting				2	20	
4-H Vet Check				1	80	

<u>Whittemore - Fairgrounds</u>						
4-H Mock Dog Show				1	100	
4-H Dance				1	50	
<u>Arena</u>						
Silver Buckle Gymkhana				2	150	
Team Roping				3	30	
Month Total Fair Facility Reservations		20	410	29	2,931	
<u>Vandalism Report</u>						
<u>Incident</u>	<u>Date</u>	<u>Location</u>	<u>Area</u>	<u>Cost</u>		
Graffiti	1/26/2020	Rainbow Falls	Rock near the Falls	\$400		
			Total	\$400		
<u>Volunteerism</u>		2020		2019		
Total for Year	<u>Goal</u>	<u>Volunteers</u>	<u>Total Hours</u>	<u>Volunteers</u>	<u>Total Hours</u>	
January		193	824	196	925	
February		234	1,148	189	1,098	
March		110	552	174	1,193	
April		86	350	590	2,398	
May		96	500	600	3,179	
June		378	1,765	416	2,649	
July						
August						
September						
October						
November						
December						
Totals	20,000 hours	1097	5,139	2165	11,442	
		2020				
<u>June</u>		<u>Volunteers</u>	<u>Total Hours</u>			
Park Advisory Board		9	35			
Fair Advisory Board		14	56			
Fairgrounds Corporation		5	20			
Friends of the Nature Centers		28	412			
Adopt-A-Park / Trail / Volunteer Projects		322	1,242			
Front Range Community Service / CEO		0	0			
Total		378	1,765			

<u>Programming</u>	Goal	2020			2019	2019
<u>Totals for Year</u>		<u>Programs</u>	<u>Attendance</u>	<u>Evaluation</u>	<u>Programs</u>	<u>Attendance</u>
January		45	755	4.96	40	461
February		47	2327	4.94	36	2303
March		17	361	4.97	62	1060
April		0	0	5.00	185	4928
May		12	4439	4.50	210	4415
June		40	888	4.96	122	3937
July						
August						
September						
October						
November						
December						
Totals	800 / 21,000	161	8770	4.89	655	17104
<u>June</u>	<u>Facility</u>	<u>Programs</u>	<u>Attendance</u>	<u>Evaluation</u>		
Teen Volunteer Training	BCNC	1	10			
Full Moon Hike	BCNC	2	20			
Paint Mines Hike	BCNC	1	9			
Little Wonders: We're Going on a Bear Hunt	BCNC	1	5	5.00		
Nature Explorers: Sound Science	BCNC	1	8	5.00		
Nature Camp: Pollinators on Parade	BCNC	5	100			
Geology of Bear Creek	BCNC	1	10	5.00		
Nature Camp: Middle School Campers in Colorado	BCNC	5	95			
Women in the Outdoors Self Defense	BCNC	1	6			
Nature Adventures: Mud Mania FB Live	FCNC	1	283			
Nature Camp Teen Camp Aide Training	FCNC	1	9			
Nature Camp: Next Generation Naturalists	FCNC	5	100	4.89		
Nature Camp: Fox Run Park Cattail Kids	FCNC	5	100	4.90		
2's & 3's Outdoors: Cool Crickets	FCNC	1	10	4.90		
Junior Bird Club	FCNC	1	3	5.00		
PPLD Bookmobile	FCNC	2	20			
Blended CPR/AED/First aid class	SPEVT	1	4	4.50		
Archery Camp: Week 1	SPEVT	1	24	4.50		
Archery Camp: Bonus week	SPEVT	1	24	4.80		
Archery Camp: Week 2	SPEVT	1	24	4.70		
Outdoor Safety Series	RFRRP	1	14	5.00		
First Aid Training for Teen Volunteers	FCNC	1	10	-		
TOTALS		40	888	4.86		

COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ PLANNING ~ CSU EXTENSION ~ COMMUNITY OUTREACH
ENVIRONMENTAL SERVICES ~ VETERANS SERVICES ~ RECREATION/CULTURAL SERVICES

**ADMINISTRATIVE SERVICES
MONTHLY REPORT**

SABINE CARTER, ADMINISTRATIVE SERVICES COORDINATOR
DEBRA REID, ADMINISTRATIVE SUPERVISOR

June 2020

General Updates:

1. Facility rentals have generated \$74,985 which is 41% of our \$180,000 annual goal.
2. Administrative staff is following the safer-at-home order and are working remotely from home 50%. The Park administrative office is open to the public again Monday through Friday from 8:00 a.m. – 5:00 p.m.

Special Events:

1. The local running community is eager to resume running events and a virtual run spread over two days, which will include four County trails and several City trails, is scheduled for the first weekend in September. The events will have no set start times which will allow runners to run at their own pace and minimize mass gatherings. The events are organized by the Pikes Peak Road Runners.
2. Office phones are busy again with renters securing their pavilion rentals for this Summer and Fall. All parks are seeing a large increase in drop-by use.
3. Nine weddings were held at the wedding gazebo at Fox Run Regional Park in June.
4. Youth soccer, tennis and bicycling camps resumed with limited participation. Youth baseball camps have unfortunately cancelled but plan to resume in Fall.
5. Four commercial photography permits and five night photography permits were issued in June for the Paint Mines Interpretive Park.



COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ COMMUNITY OUTREACH
ENVIRONMENTAL SERVICES ~ VETERANS SERVICES ~ RECREATION/CULTURAL SERVICES

COMMUNITY OUTREACH and GRANTS

Monthly Report – June 2020

Christine Burns, Community Outreach Manager
Dana Nordstrom, Community Outreach Coordinator

Community Outreach

1. **Partner in the Park:** We have a **NEW** partner in the park, **The Scott Lauther Foundation** will be supporting Bear Creek Nature Center. Nature Center staff met with the family on June 11 and were presented a \$5,000 donation. We are currently seeking partners for Fountain Creek Regional Park and El Paso County Fair and Event Center. Please forward any potential partners to dananordstrom@elpasoco.com.
2. **El Paso County Fair:** Due to the evolving COVID-19 situation, El Paso County has transitioned the regular 2020 County Fair to a 4-H Show this year. While we are very disappointed to not offer our regular Fair this year, the safety of our partners, participants, and visitors is our highest priority. 2020 Fair sponsors committed over \$75,000. GE Johnson, Phil Long Dealerships, El Pomar Foundation, Kunau Drilling, Schmitt Construction, Olson Plumbing & Heating and EPC Environmental Services have graciously shifted their 2020 fair support to the 4-H Show and Fairgrounds needs.
3. **Happy Trails BBQ** is the annual El Paso County Nature Centers' showcase fundraiser and will be held on Friday, August 21. Join us for our first **virtual** celebration while dining with a boxed dinner from Buffalo Gals.
4. **Creek Week: September 26 – October 4, 2020.** Plan on joining the largest clean-up in the State of Colorado. Trash and debris on the land eventually end up in our waterways. This rubbish clogs drainage systems, impacts wildlife, affects water quality and ruins the view of our beautiful natural landscapes. For more information go to: www.fountaincreekweek.com

Grants

1. El Paso County Parks was awarded a \$15,000 grant from Colorado Parks and Wildlife for improvements to the Bear Creek Archery Range. Improvements will include a new roof and gutter, a storage shed, a picnic pad and table, and new signage.
2. Parks plans to submit a Colorado Parks and Wildlife grant application for Santa Fe Open Space trail improvements. We are looking for individuals to assist with the application efforts. If you have an interest in working with El Paso County Parks on this or other grants (research, needs development, letters of support, stewardship) to support park projects, please call Christine Burns at 520-6996.



COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ PLANNING ~ COMMUNITY OUTREACH
ENVIRONMENTAL SERVICES ~ VETERANS SERVICES ~ RECREATION/CULTURAL SERVICES

**Recreation & Cultural Services Division
Monthly Report – June 2020**

Submitted by: Todd Marts, Division Manager

General

1. Rainbow Falls Historic Site was open for seventeen days in June on Fridays, Saturdays, Sundays and Mondays. There were 8,859 total visitors averaging 521 visitors a day and collected \$4,094.87 in donations.
2. Rainbow Falls is well-loved, and we are starting to have challenges with too many visitors. Staff is currently working with the City of Manitou Springs on creating a fire lane on Serpentine Drive, so cars do not park illegally and interfere with traffic. Staff has also had the bushes trimmed back where people are walking on Serpentine and put out sandwich boards warning drivers of pedestrian traffic.

Projects, Fundraising & Grants:

1. Working with School District 11, staff has developed 1,000 Nature Adventure Activity Kits to be distributed at School District 11 free lunch distribution sites. The kits include a 20-page nature activity booklet with word searches, crosswords, stories, a wide variety of nature exploration activities; a magnifying bug box, and a wood tree slice, all packed in a Fountain Creek/Bear Creek drawstring backpack. Distribution should begin in July. This project was sponsored by Front Porch Giving Circle.
2. Bear Creek Nature Center has completed the majority of their new habitat/ pollinator gardens. The project was partially funded by a grant from the Broadmoor Garden Club and the work was completed by the El Paso County Parks' Central District Maintenance team. The project includes irrigation lines, a variety of pollinator-friendly native plants, and a pathway that takes visitors through a demonstration area of the garden.

Programs & Special Events:

1. Staff was able to provide a basic First Aid class to Fountain Creek Nature Center's Nature Camp Teen Volunteers on June 4. Ten teens participated in the class and learned about basic first aid and how to better assist camp staff and volunteers.
2. Due to COVID restrictions, instructing an 8-hour class in First Aid/CPR/AED to a group of 12 seemed impossible. Staff was able to adjust the class so participants would have

on-line learning, then 4 at a time would come in to demonstrate the skills and then become certified. Staff was able to test this class format on 4 seasonal/part time employees on June 6, and it was so successful that we will be able to now offer this blended learning class to the public.

3. On June 6 there was an Outdoor Safety Series class at Fox Run Regional Park with the theme of First Aid for Outdoor Kids. Ten children attended the class and had hands-on activities to learn about bandaging, CPR, weather emergencies, and more. Participants were sent home with a mini first aid kit and a wealth of information on how to provide first aid.
4. Archery Camps were held at Bear Creek Regional Park Archery Range. This year we added more sessions of camp because the contractors, Archery School of the Rockies, were unable to host indoor camps due to COVID restrictions, so they were able to add more outside. These camps are limited to 8 participants per day and have 2 instructors. The camps filled up in May, and our waiting lists continue to expand every week.
5. Fountain Creek Staff and volunteers conducted two nature camps (actually 4 to be in accordance with COVID guidelines):
 - 2 Next Generation Naturalists at Fountain Creek Nature Center for 1st-5th graders- 10 campers each; \$2,822 revenue. It featured the Nature Watcher's Pledge, exploration time in the Magic Woods, food web activity, many no-touch games including Blind Explorer, Poison Frog, Charlie over the River, and Shrinking Habitat, stories, crafts, and songs. Overall score was 4.89.
 - 2 Cattail Kids at Fox Run Regional Park also for 1st-5th graders – 10 campers each; \$2,140 revenue. It featured our favorite activities including bug sweeps, pond studies with macro-invertebrates, beavers and beaver dam building, crawdad fishing and releasing, and shelter building, with exploration time in the Magic Forest, stories, crafts, and songs.
6. Conducted one FB live program in the Children's Nature Series, Mud Mania, and one in-person program, Cool Crickets for the first time in many months. It was limited to 10 participants.
7. Conducted annual training for 9 Teen Camp Aide volunteers, in keeping with COVID guidelines. They participated in a guided hike along the nature trail, played no-touch games, learned about their responsibilities and expectations as a camp assistant and how to adhere to the special COVID guidelines.
8. Bear Creek Nature Center resumed in-person programming during the month of June, maintaining state guidelines for group sizes. Public programs hosted this month included a Full Moon Hike, a hike at Paint Mines Interpretive Park, Geology of Bear Creek, a Women in the Outdoors Self-Defense Workshop, and two preschool-age programs.
9. Bear Creek Nature Center held two weeks of nature camp in the month of June- Pollinators on Parade for elementary-age campers and a Middle School Camp. Per state guidelines for day camps, camps consisted of two groups of ten campers per week. Camp activities included geology experiments, hikes, physically-distanced games, and a presentation from a local beekeeper.



COMMISSIONERS:
MARK WALLER (CHAIR)
LONGINOS GONZALEZ, JR. (VICE-CHAIR)

HOLLY WILLIAMS
STAN VANDERWERF
CAMI BREMER

COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ PLANNING ~ COMMUNITY OUTREACH
ENVIRONMENTAL SERVICES ~ VETERANS SERVICES ~ RECREATION/CULTURAL SERVICES

PARK OPERATIONS DIVISION MONTHLY REPORT JUNE, 2020

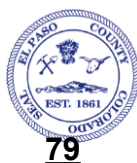
Parks Planning

Capital Project Management:

Santa Fe (Elephant Rock) Open Space - The acquisition process is complete. An environmental assessment, appraisal, ALTA survey and title documents were obtained in late 2016. The County Attorney provided a real estate contract which was executed by the Board of County Commissioners on May 25. Closing occurred in August 2017. The master plan process has been initiated, with master plan completion due in August 2020. County staff has elected to change the property name to Santa Fe Open Space, pending Board of County Commissioner approval. The name change is due to the Santa Fe Railroad history and to eliminate confusion that Elephant Rock is accessible or located on County property.

Pineries Open Space - The County selected Wilson & Company to perform Phase 1 final design work and held a kick-off meeting in March 2017. The contractor completed design documents in August 2018. Staff completed marking of singletrack trail corridors in July 2018, and Mile High Youth Corp crews completed approximately 1.5 miles of singletrack trail. RMFI completed the final ½-mile of singletrack trail and boardwalk in late-summer 2018, thus connecting to the powerline trail. MHYC and RMFI constructed an additional 10,800 feet of singletrack trails in April-October 2019. Trailhead construction was awarded to 53 Corporation, with construction taking place fall/winter 2019/2020. RMFI and MHYC will complete approximately 11,000 feet of additional singletrack trail in June 2020. The park is scheduled for opening on June 27th, 2020.

Ute Pass Regional Trail - The County received a State Trails grant to construct approximately 2/3 mile of trail between Ute Pass Elementary School and Winnemucca Road. An extension request was approved by the State allowing additional time to complete construction by December 31, 2020. The Trust for Public Lands has committed \$50,000 towards the project. A Contract was awarded to Avery Asphalt to construct the trail. Construction started in September 2019 and reached substantial completion in December 2019. A final walkthrough was completed on March 31, 2020 and final payment is being processed. Grant close-out is underway.



El Paso County was previously awarded two federal grants to fund design and construction of the remaining 3.75 mile segment of the Ute Pass Regional Trail. An Intergovernmental Agreement with CDOT was approved by the BoCC in April 2019. Stantec Consulting Services was selected to complete the design of the Ute Pass Regional Trail. The design project launched in 2019 and will last through 2020 with construction planned afterwards. A survey has been completed and regulatory approvals have been initiated. A 30% design and engineers construction estimate were developed in January and presented to CDOT and CSU. The estimate indicates that the grant funds are not adequate to construct the entire portion of the trail. Staff met with CDOT in February and both parties agreed to shorten the scope of the project to terminate the trail at the US 24 / Fountain Ave intersection. Coordination with CDOT and design efforts continue. Public input is scheduled for summer and final design is anticipated in the fall.

Falcon Regional Park Phase II - Staff launched Phase II design process which includes a baseball field, multi-use field, parking lot, restroom, playground, and drainage improvements. NES was awarded a contract in 2019 to complete the final design of the proposed Phase II improvements. A 30% plan review was completed in January and NES is working to develop final design drawings. Procurement is anticipated in July with construction to follow. A GOCO grant was submitted in October 2019 to help fund Phase II improvements. The grant was awarded to the County in March 2020.

Bear Creek Regional Park Pickleball Courts – Design / Build contract for twelve pickleball courts was awarded to Renner Sport Surfaces April 2020. Project award was placed on temporary hold due to COVID-19. The design phase began June 2020 with anticipated construction completion September / October 2020.

Bear Creek Regional Park Restroom– Design project for replacement of the main park restroom which includes design of the new building, engineering, cost estimating, and demolition plan of the old building. A design contract was awarded to Tremmel Design Group (TDG) in May 2020. A kickoff meeting was held in May with preliminary concepts reviewed in June. Public input is anticipated in the summer with final design anticipated by end of year. Construction is anticipated in spring 2021.

Planning:

Fountain Creek Regional Park Master Plan / Phase I Improvements - Planning and Park Operations Divisions have launched on implementation of Phase I improvements. South District staff has initiated planning and construction of the community and demonstration gardens, with support from Pikes Peak Urban Gardens. The north garden was finished spring 2018. Designsapces Colorado has been chosen to complete the Phase I Improvements, with construction taking place in Fall–Winter 2018-2019. All improvements have been completed with new park and directional signage as the only remaining project components, scheduled for completion in summer 2020.

Widefield Community Park Master Plan / Phase I/II Improvements - The Master Plan was approved by the Board of County Commissioners on March 30. Specifications are under development for Phase 1 improvements. Parks has received the \$150,000 Community Development Block Grant Notice to Proceed in October 2017. Parks also received the \$110,000 Colorado Springs Health Foundation notice of award in October, 2017. Designsapces Colorado was chosen to complete the Phase I Improvements, with construction completed October 2019. Parks has received a \$165,000 CDBG grant for the construction of Phase II Improvements, including two picnic pavilions and ADA access improvements. The CDBG-funded Phase II project will take place in summer 2020.

Kane Ranch Open Space Master Plan / Phase I Improvements - The master planning process for the property was initiated in March 2018. The County selected Design Concepts to lead the effort which included stakeholder interviews, public open house, and several site visits taking place in April–June 2018. The Kane Ranch Open Space Master Plan was presented before the Park Advisory Board in July 2018 for endorsement and was presented to the Board of County Commissioners for final approval in August 2018. Ace Fencing has completed the installation of wildlife-friendly fencing in previously unfenced areas of the property. Design and construction of the Phase I Improvements is scheduled to take place in mid- to late-2020.

Flood Recovery:

Willow Springs Ponds Embankment Repairs - A contract was awarded to J3 Engineering to complete engineering and design of the creek bank repairs. The design was approved by FEMA and completed in 2019. An IFB for creek bank repairs was advertised in September and Olgoonik General, LLC was awarded the \$949,931 contract. Work started in December 2019 with substantial completion was issued in March 2020. Final punch list and demobilization was completed in April.

Hanson Trailhead Repairs - A contract for engineering and design was awarded to Bohannon-Houston in April 2018. Conceptual designs (30%) were developed sent to FEMA and approved. Refinement of the design will continue in 2020. Permitting and regulatory approvals will continue in 2020. Presentations to the Fountain Creek Watershed and Greenway District were held in April, May, July, and September 2019 to discuss a potential partnership. The District responded favorably and has allocated \$750,000 to the project. Procurement is anticipated in July with Construction starting fall/winter 2020.

Other:

Development Permit Application Reviews - Staff reviewed three development permit applications in June, to be presented to the PAB for endorsement in July and provided internal administrative comments for an additional five applications.

Fountain Creek Watershed, Flood Control and Greenway District - Community Services Department Staff continues to serve on the Technical Advisory Committee. The committee helps develop and implement watershed restoration and enhancement projects.

Geographic Information Systems (GIS) - Staff is working with the County Information Technology Department to expand El Paso County Parks' use of GIS for data collection, operational, and planning applications. New regional park maps have been completed or are in process, and new and/or improved datasets have been received.

Grants for Capital Projects - EPC Parks has been awarded a \$165,000 2019 CDBG grant for Phase II Improvements at Widefield Community Park, set to commence in Summer 2020. EPC Parks has been awarded a \$350,000 GOCO grant for Falcon Phase II.

Internships - The Geography and Environmental Studies Program at UCCS has expressed interest in providing interns to the Planning Division. Staff will coordinate, with a goal of having an intern on board in 2020.

Park Operations / Miscellaneous Projects

The Park Operations Division is proud to continue providing services to our citizens during these challenging times. Staff continues to work modified schedules to focus on essential tasks and minor projects while practicing proper physical distancing. Park restrooms were opened May

4th. Playgrounds and pavilions opened June 5th with limited capacity to help prevent the spread of COVID – 19.

Central District:

Bear Creek Regional Park – Updated Public Health Orders have allowed restricted use of playgrounds and pavilions. These restrictions limit the number of guests in a pavilion or playground at any time. Restrictions are being ignored by many and pavilion use is near capacity, especially on weekends. Staff continues to provide excellent customer service, but increased park usage and lack of seasonal labor has put a strain on maintenance resources.

The Bear Creek Nature Center Pollinator Project is complete! A variety of native shrubs and perennials were planted in hopes of providing an ideal habitat for pollinating insects. Staff also installed decorative rock mulch and constructed a trail through the garden to provide interpretative opportunities.

High temperatures and lack of moisture have exposed problematic irrigation flaws. Staff repaired lateral lines, mainlines, adjusted/replaced heads, and programmed controllers for maximum efficiency.

Staff box bladed all regional trails, parking lots, and gravel roads. The archery trail system was treated with non-selective herbicide to remove unwanted weeds in the tread surface. All regional trail aprons were mowed.

The Cheyenne Mounting High School Mountain Bike Team completed a volunteer event to mitigate trail erosion, restore trail surfacing, and clear trail corridors within the single-track system at Bear Creek Terrace. The group had a good turnout and their work should inspire a sense of stewardship with the team.

Bear Creek Dog Park – The Park is experiencing a large volume of guests and staff continues to commit significant effort with trash removal and facility cleaning.

Staff began mowing and trimming native areas at entrance points and high traffic areas. We are hopeful that the mowing will improve visibility and encourage guest to remove their pets waste.

Several Friends Group members continue to provide phenomenal support by making sure waste bag distribution boxes are stocked and removing left behind dog waste.

Rainbow Falls Historic Site – The site is now open Friday through Monday and is averaging 500+ guest per day. Parking, restroom capacity, and overall site management has become very difficult. Management staff is collaborating to determine options for the increased usage.

Several new areas of new graffiti were identified during this reporting period. These areas were larger in size and services were contracted to assist with removal.

Staff contracted parking lot striping services to add one parking spot and to label no parking areas in the main lot. Several no parking signs were installed along Serpentine Dr. in hopes to control traffic and improve safety for guest walking from the lower parking lot.

Downtown Facilities – Staff is busy with general maintenance tasks including mowing, trimming, weed management, and irrigation repairs.

Staff completed the Centennial Hall renovation project. A wide variety of trees, shrubs, and perennials were installed followed by decorative rock mulch and irrigation upgrades. The project was a success and our team received many compliments from staff and citizens.

Jones Park – Stakeholder comments were received regarding the Master Plan process and internal reviews will be conducted to discuss next steps in developing the final draft.

Our team will be applying for an OHV trails grant this fall and we have begun efforts to develop a scope of work that will help with ongoing maintenance of trail #667.

Ute Pass Regional Trail – Staff removed trash and debris from trail corridors and trailheads.

East District:

Falcon Regional Park – The East team installed two benches and two trash cribs along the newly completed Eastonville Regional Trail within Falcon Regional Park.

County Fairgrounds – Staff focused on preparing for auto races at the Fairgrounds this month. The races were a little different due to COVID restrictions and required staff to adjust or restrict seating throughout the Fairgrounds in addition to the normal race preparation.

Staff has now directed efforts towards 4-H/FFA Show preparation that will replace the 2020 County Fair.

Homestead Ranch Regional Park – Staff has been working through irrigation issues at Homestead Ranch Regional Park. Staff repaired a mainline break and once the system was charged there were pressure issues that appeared. After troubleshooting the problem, it was determined the pressure regulators on the irrigation valves were failing.

Staff also focused on demolition of certain landscape areas. Vegetation was removed in the center median and the landscape beds were regraded. Staff will continue to complete work on the landscape beds closest to the buildings in the coming weeks.

Paint Mines Interpretive Park – Paint Mines continues to see increased park usage. Staff received the unfortunate news about graffiti on the formations at Paint Mines Interpretive Park. Staff was able to remove all the graffiti within 24 hours of being notified.

North District:

General Information – The North District is happy to welcome back Hayden Cooreman as a returning park maintenance seasonal for 2020.

Fox Run Regional Park – Staff performed routine maintenance of park facilities while focusing significant efforts on final construction and preparation for Pineries Open Space grand opening.

Black Forest Regional Park – Staff performed routine maintenance of park facilities while focusing significant efforts on final construction and preparation for Pineries Open Space grand opening.

Pineries Open Space – Staff completed clearing trail debris and over 250 hazard / dead trees that were compromising the trail system. In addition, staff completed construction tasks and prepared for the June 27th grand opening. Tasks included: installing all informational and directional signage throughout the property, securing all gates and access points, perimeter fence repairs, restroom preparation, trail erosion repair, grading ranch roads leading to the new trail system, removing various debris from the old ranch, building a puncheon trail bridge, and decommissioning a section of old ranch roads.

Santa Fe Regional Trail – Staff removed multiple illegal dumps of household trash at Baptist Road trailhead. We have also started our native mowing along the trail system edges.

Black Forest Section 16 – Staff completed all parking and trailhead native mowing. In addition, the restroom exhaust fan was replaced and an abandoned boat was removed from the parking lot.

Palmer Lake – Staff graded the main parking lots and opened the public restroom per the Town of Palmer Lake request.

South District:

General Information – One of the District's biggest challenges during June was keeping up with the high winds that blew down eight large trees and numerous branches along the Fountain Creek Regional Trail. The South team did an excellent job keeping the trails clear.

Staff installed "No Motorized Vehicle" signs along the Fountain Creek Regional Trail near the Carson Street bridge. We have had multiple reports of ATV's and dirt bikes driving on the trails in this area.

All South District staff completed the annual El Paso County Harassment in the Workplace Training.

Volunteers from Ft. Carson worked four Saturdays in June cleaning up multiple locations within parks and along trails. The group of ten soldiers have completed over 300 hours of volunteer work since they started this year and removed approximately 40 cubic yards of debris and trash. A huge thank you to this volunteer group for helping keep El Paso County Parks clean.

Fountain Creek Regional Park – Staff spent numerous hours troubleshooting irrigation issues related to using non-potable water within the park. The water has caused ongoing issues with certain irrigation components not operating properly and efficiently. Staff continues researching ways to improve the overall system performance.

The new "Pets Must be on Leash" signs that staff installed in May appears to be helping reduce the number of pets off leash. Complaints have reduced and staff has noticed people are quick to leash their pet.

Widefield Community Park – Staff completed repairs to the drainage ditch near the low water crossing sidewalk. These repairs improved water flow through the park and prevented it from running over the sidewalk.

The park saw an increase in graffiti over the month and staff did a great job staying on top of the issue and removing the graffiti.

Grinnell Blvd - Staff continues working through the irrigation system and repairing valves. Staff is also focusing on replacing and lowering bubblers at each tree to reduce damage from mowing operations. Staff completed mowing the native grass areas and vegetation control treatments in the rock and mulch beds.

Fountain Creek Nature Center – Staff completed the installation of new QR code plaques throughout the trail system. These codes allow the public to have an audio guided tour around the Nature Center's riparian area by using a smart phone. There are nine points of interest that users can stop and learn more about.

Staff completed repairs to the southern pedestrian bridge within the interior trail system. The bridge was eroding out on one side causing the trail to sink and the bridge decking to separate.

Clear Springs Ranch - Staff completed the installation of new signs designed to citizens find the designated access to the trailhead and prevent them from trespassing on private property.

Staff completed mowing and vegetation control throughout the trailhead and parking lot islands.