

PARKS & COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ ENVIRONMENTAL SERVICES ~ RECREATION/CULTURAL SERVICES ~ CSU EXTENSION

Park Advisory Board

Meeting Agenda

Wednesday, April 12, 2023 – 1:30 p.m.

Centennial Hall, 200 S. Cascade, Colorado Springs

<u>Item</u>	<u>Presenter</u>	<u>Recommended Action</u>
1. Call Meeting to Order	Chair	
2. Approval of the Agenda	Chair	Approval
3. Approval of Minutes	Chair	Approval
4. Introductions / Presentations		
A. Bear Creek Nature Center Spring Egg Events	Mary Jo Lewis	Information
5. Citizen Comments / Correspondence on items not on the agenda (limited to five minutes unless extended by Chair)	Chair	
6. Development Applications		
A. The Estates at Cathedral Pines PUDSP	Jason Meyer	Endorsement
B. Crawford Ave. Multi-Family Final Plat	Greg Stachon	Endorsement
7. Information / Action Items		
A. 2023 Park Advisory Board Tour	Brian Bobeck	Information



<u>Item</u>		<u>Presenter</u>	<u>Recommended Action</u>
B.	Park Lands Agreement – The Ridge at Lorson Ranch Filing No. 2 and Filing No. 3	Jason Meyer	Endorsement
C.	Urban Park Lands Agreement GTL, Inc., dba GTL Development The Sanctuary at Meridian Ranch Filing No. 1	Ross Williams	Endorsement
D.	Urban Park Lands Agreement Sterling Ranch Metropolitan District No. 1 Homestead North at Sterling Ranch Filing No. 1	Ross Williams	Endorsement
E.	Park Lands Agreement Extension COLA, LLC. Trails at Aspen Ridge Filings No. 3, 5, 6, 7	Ross Williams	Endorsement
8.	Monthly Reports	Staff	Information
9.	Board / Staff Comments		
10.	Adjournment		

RECORD OF PROCEEDINGS

*Minutes of the March 8, 2023
El Paso County Park Advisory Board Meeting
Centennial Hall, 200 S. Cascade
Colorado Springs, Colorado*

Members Present:

Ed Hartl, Chair
Anne Schofield, 2nd Vice Chair (via
TEAMS)
Susan Jarvis-Weber, Secretary
Kiersten Steel
Vincent Prins
John Wallace
Thomas Lachocki

Staff Present:

Todd Marts, Executive Director
Brian Bobeck, Park Operations Division Manager
Sabine Carter, Administrative Services Coordinator
Jason Meyer, Planning Supervisor
Ross Williams, Park Planner
Theresa Odello, Recreation & Cultural Services Manager
Jessica Miller, Fountain Creek Nature Center Supervisor

Absent: Terry Martinez, Lois Landgraf

The following minutes are a summary of the proceedings. A recording is available upon request at the El Paso County Parks Administration Office.

1. Call to Order: The meeting was called to order at 1:30 p.m. by Ed Hartl, Chair.
2. Approval of Agenda: **Thomas Lachocki made a motion to approve the meeting agenda. Vincent Prins seconded the motion. The motion carried 7 - 0.**
3. Approval of Minutes: **John Wallace made a motion to approve the February 8, 2023, meeting minutes. Vincent Prins seconded the motion. The motion carried 7 - 0.**
4. Introductions and Presentations:

N/A
5. Citizen Comments:

Judith von Ahlefeldt, citizen, commented on the February 8th, 2023, staff report regarding the processed purchase order with Forestree Development Inc. for mountain pine beetle monitoring and reporting efforts in the Pineries Open Space. Mrs. Ahlefeldt stated that mastication is not an acceptable way to control pine beetles. If El Paso County Parks is proceeding with fire mitigations at the Pineries Open Space this year, she would like to receive a copy of the plan.

Susan Davies, Trail and Open Space Coalition commented on the great public feedback on the Winter Fun at Fox Run fundraiser event organized by Nature Center staff. Mrs Davies provide comments on TOPS tax, and a Black Forest Section 16 lease community meeting

which will take place on March 8th. Mrs. Davies would like to receive an update on the County's e-bike policy in the near future.

6. Development Applications:

A. **Creekside at Lorson Ranch Filing No. 2. Final Plat**

Jason Meyer presented Creekside at Lorson Ranch Filing No. 2. Final Plat and addressed a questions by the board.

Vincent Prins recommended that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving Creekside at Lorson Ranch Filing No. 2 Final Plat: 1) Require fees in lieu of land dedication for regional park purposes in the amount of \$17,480 and urban park purposes in the amount of \$11,020 will be required upon recording of the Filing No. 2 Final Plat. Thomas Lachocki seconded the motion. The motion passed 7 – 0.

B. **Hay Creek Valley Subdivision Preliminary Plan**

Ross Williams presented the Hay Creek Valley Subdivision Preliminary Plan and addressed questions by the board.

Susan Jarvis-Weber recommended that the Planning Commission and the Board of County Commissioners include the following condition when considering and/or approving the Hay Creek Valley Subdivision Preliminary Plan: fees in lieu of land dedication for regional park purposes in the amount of \$9,200 will be required at time of the recording of the forthcoming final plat(s). Thomas Lachocki seconded the motion. The motion passed 7 – 0.

C. **Saddlehorn Ranch Filing No. 3 Final Plat**

Ross Williams provided an overview of the Saddlehorn Ranch Filing No. 3 Final Plat and addressed questions by the board.

Vincent Prins recommended that the Planning Commission and the Board of County Commissioners include the following condition when considering and/or approving Saddlehorn Ranch Filing No. 3 Final Plat: require fees in lieu of land dedication for regional park purposes in the amount of \$20,240. John Wallace seconded the motion. The motion carried 7 – 0.

7. Information / Action Items:

A. **2023 Park Advisory Board Tour**

Brian Bobeck polled the Park Advisory Board members on dates and locations for the annual Park Advisory Board tour. The board decided to hold the tour on Friday, May 12th. The facilities at the South District have been selected as the tour locations.

B. Winter Fun at Fox Run Presentation

Jessica Miller, Fountain Creek Nature Center supervisor, highlighted the Winter Fun at Fox Run event. She presented a slideshow and recapped the highlights which included roasting marshmallows and grilling hot dogs, storytelling, dog costume contest, hay bale tractor rides etc. Several docents provide hands-on Colorado wildlife education. 550 participants took part. The event raised approximately \$2,500 for the Northern Nature Center. Theresa Odello addressed additional fundraising questions for the Northern Nature Center.

8. Monthly Reports:

Theresa Odello stated that sections of the Bear Creek Nature Center parking lot are closed for construction due to the relocation of the handicap parking spaces which will makes it easier for the terrain hopper users to transfer in and out of the vehicles.

Susan Jarvis-Weber inquired about the loss of the grant for the Pineries Open Space improvements. Mr. Marts stated that some of the scheduled work will be completed but there will be no trail improvements at this time.

9. Board/Staff Comments:

Theresa Odello announced the Boots in the Park event, the Chocolate Bunny Egg Hunt which will be held at both Nature Centers on April 8, and the Nighttime EGGstravaganza which will be held at the Fox Run Regional Park. The event is mostly geared towards adults and will be held on April 7th at 7:45 p.m.

10. Adjournment: **The meeting adjourned at 2:28 p.m.**

Susan Jarvis-Weber, Secretary

El Paso County Park Advisory Board

Agenda Item Summary Form

Agenda Item Title: Bear Creek Nature Center Spring Egg Events

Agenda Date: April 12, 2023

Agenda Item Number: #4 - A

Presenter: Mary Jo Lewis
Bear Creek Nature Center Supervisor

Information: X **Endorsement:**

Background Information:

Every year the nature centers host egg hunt events in the Spring. Bear Creek Nature Center is coordinating two events this year, which combine the spring seasonal celebration with nature education. The Chocolate Bunny Egg Hunt, held at Bear Creek Nature Center, is an annual tradition geared towards younger children and their families. The Nighttime EGGstravaganza at Fox Run is in its third year and was created to give older kids who have aged out of traditional hunts a unique opportunity to participate in the fun.

A brief presentation will include pictures and details of the upcoming events.

Recommended Action:

Information Only

EGG-cellent

Seasonal Spring Events at Bear Creek Nature Center






1

Chocolate Bunny Egg Hunt

Saturday, April 8







2

Chocolate Bunny Egg Hunt

Saturday, April 8



3

Chocolate Bunny Egg Hunt

Saturday, April 8



4

Nighttime EGGstravaganza at Fox Run

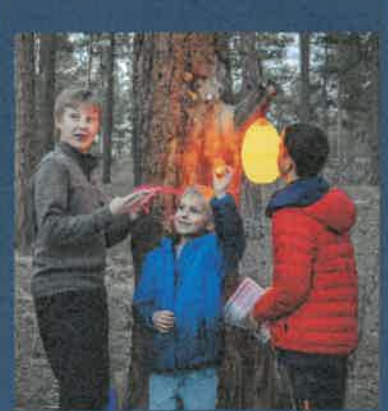
Friday, April 7



5

Nighttime EGGstravaganza at Fox Run

Friday, April 7



6



7

El Paso County Parks

Agenda Item Summary Form

Agenda Item Title: The Estates at Cathedral Pines PUDSP

Agenda Date: April 12, 2023

Agenda Item Number: #6 - A

Presenter: Jason Meyer, Planning Supervisor

Information: **Endorsement:** X

Background Information:

Request by Villagreen Development Corporation for approval of The Estates at Cathedral Pines PUDSP. The project site is located immediately west of Black Forest Regional Park along Winslow Drive. The site is approximately 35 acres with the applicant proposing to develop 8 residential lots on 30.51 acres. A private road will service the new residential lots and common open space is shown along the entrance to the subdivision.

The 2022 El Paso County Parks Master Plan identifies this project site being within the Black Forest South Candidate Open Space area. This area is characterized as being along the Palmer Divide, at the headwaters of several creeks, and is unique as the only place in Colorado where montane forest growth east of the Front Range and foothills.

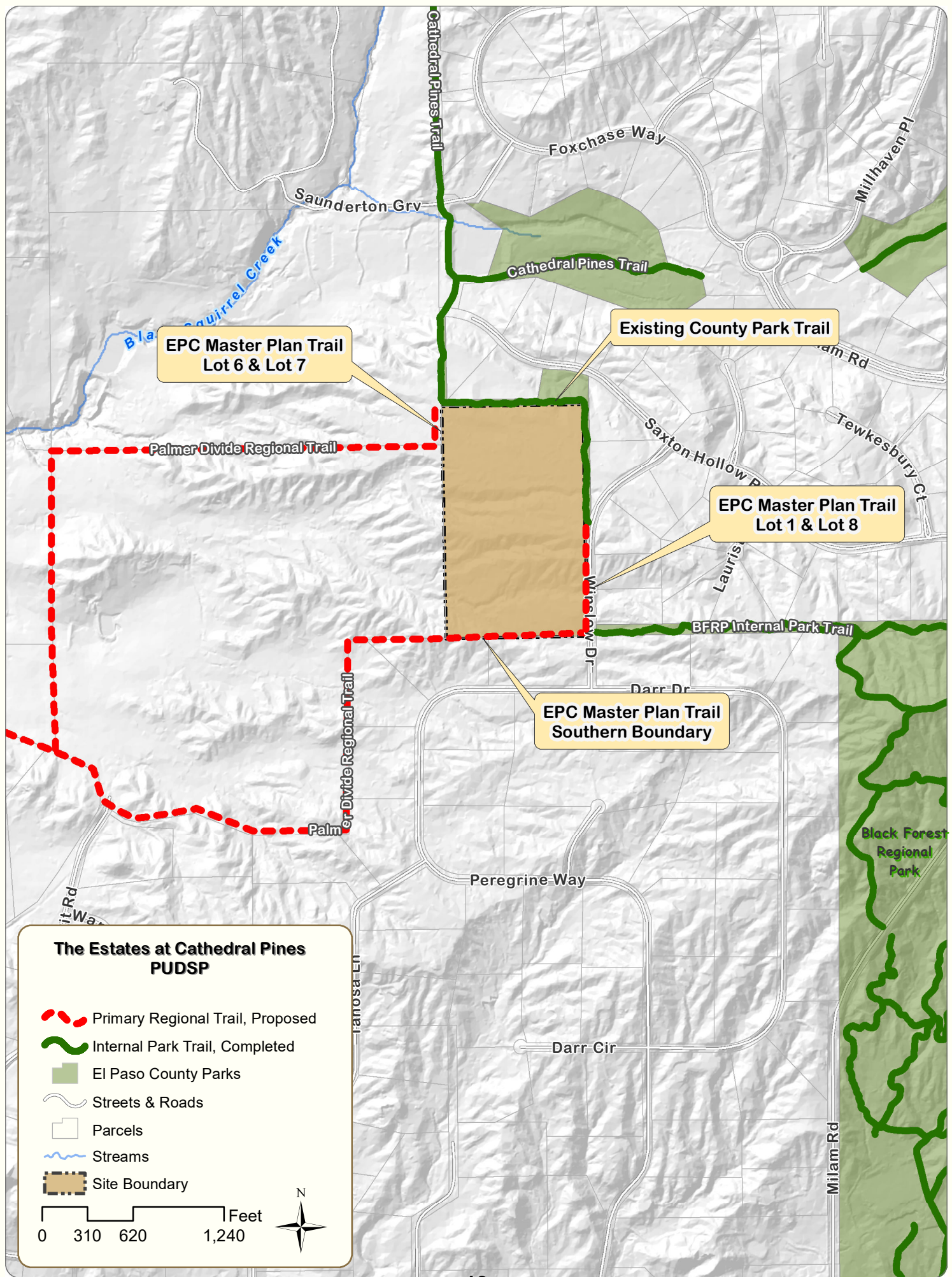
Open space dedications total 2.5 acres (7%) as outlined in the letter of intent, however the PUDSP plans do not clearly identify open space tracts nor is there a land use table to confirm open space dedications. Parks staff would request the applicant show open space tracts and include a land use table on the PUDSP and final plat drawings to confirm the correct dedications are being provided for PUD zoning which is minimum 10% of the total project site area, or 3.051 acres.

The 2022 El Paso County Parks Master Plan shows several existing and proposed master-planned county trails being impacted by this application. This includes the proposed Palmer Divide Primary Regional Trail along the western and southern property boundary, as well as an internal Black Forest Regional Park trail along Winslow Drive. Consistent with Land Development Code requirements, County Parks seeks trail easements where proposed projects impact county trails. For this application 25-ft wide public trail easements will be sought around the perimeter of the site to allow for the future construction and public use of these trails as follows; a 25-foot trail easement, north-south along the eastern boundary of Lot 1 and Lot 8 to connect the existing county trail along Winslow Drive; a 25-foot trail easement, north-south along the western boundary of Lot 6 and 7 for the Palmer Divide Regional Trail; a 25-foot trail easement, east-west along the southern boundary of Lot 1 and Lot 2 for the Palmer Divide Regional Trail.

Parks staff recommends fees in lieu of land for regional park purposes in the amount of \$3,680 will be required upon recording of the forthcoming final plat.

Recommended Motion (Filing No.1. Final Plat):

The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving The Estates at Cathedral Pines PUDSP: (1) increase open space dedications to minimum 10% consistent with PUD zoning, show them as tracts, and include a land use table on the PUDSP and final plat drawings (2) show on the final plat and dedicate to El Paso County a 25-foot trail easement, north-south along the eastern boundary of Lot 1 and Lot 8 to connect the existing county trail along Winslow Drive; (3) show on the final plat and dedicate to El Paso County a 25-foot trail easement, north-south along the western boundary of Lot 6 and Lot 7 for the Palmer Divide Regional Trail; (4) show on the final plat and dedicate to El Paso County a 25-foot trail easement, east-west along the southern boundary of Lot 1 and Lot 2 for the Palmer Divide Regional Trail; (5) the trail easements shall be shown on the final plat and allow for public access, as well as construction and maintenance by El Paso County; (6) require fees in lieu of land dedication for regional park purposes in the amount of \$3,680 will be due at recording of the forthcoming final plat(s).



A STATEMENT ESTABLISHING THE PURPOSE AND INTENT OF THE PUD ZONING DISTRICT
Authority This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

Applicability The provisions of this PUD shall run with the land. The landowners, their successors, heirs or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

Adoption The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for Estates at Cathedral Pines is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s). It is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

The provisions of this Development Plan shall prevail and govern the development of Estates at Cathedral Pines, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any applicable resolutions or regulations of El Paso County, shall be applicable.

To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan shall be enforceable law or in equity by the County without limitation on any power or authority otherwise granted by law.

Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

The total number of dwellings shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.

At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development Department, in order to assure maximum development limits are not exceeded.

The cover sheet shall include any cross reference to the ZCP or previous PUD Development Plan, including any recording references.

Floodplain statement: The parcel is within FEMA Floodplain Map number 08041C0315G, effective 12/7/2018. The property is regarded as Zone X, an area of minimal flood hazard.

TAX SCHEDULE NUMBER: 6200000411

PARCEL AREA: 35 ACRES

LOT AREA COVERAGE CALCULATION (BILDS): 28,304 SQUARE FEET (2% OF SITE AREA)

LOT AREA COVERAGE CALCULATION (TOTAL IMPERVIOUS): 74,000 SQUARE FEET (5% OF SITE AREA)

TAX STATUS: TAXABLE

ZONING: PUD RR-5

EXISTING LAND USE: VACANT

PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL

TOTAL GROSS BUILDING SQUARE FOOTAGE: 28,304 SQUARE FEET

OPEN SPACE PERCENTAGE: 7%

LANDSCAPE AREA PERCENTAGE: 19%

PROPOSED DENSITY: 228 DU/AC (Gross), 262 DU/AC (Net)

TOTAL NUMBER OF DWELLING UNITS: 8

VICINITY MAP:



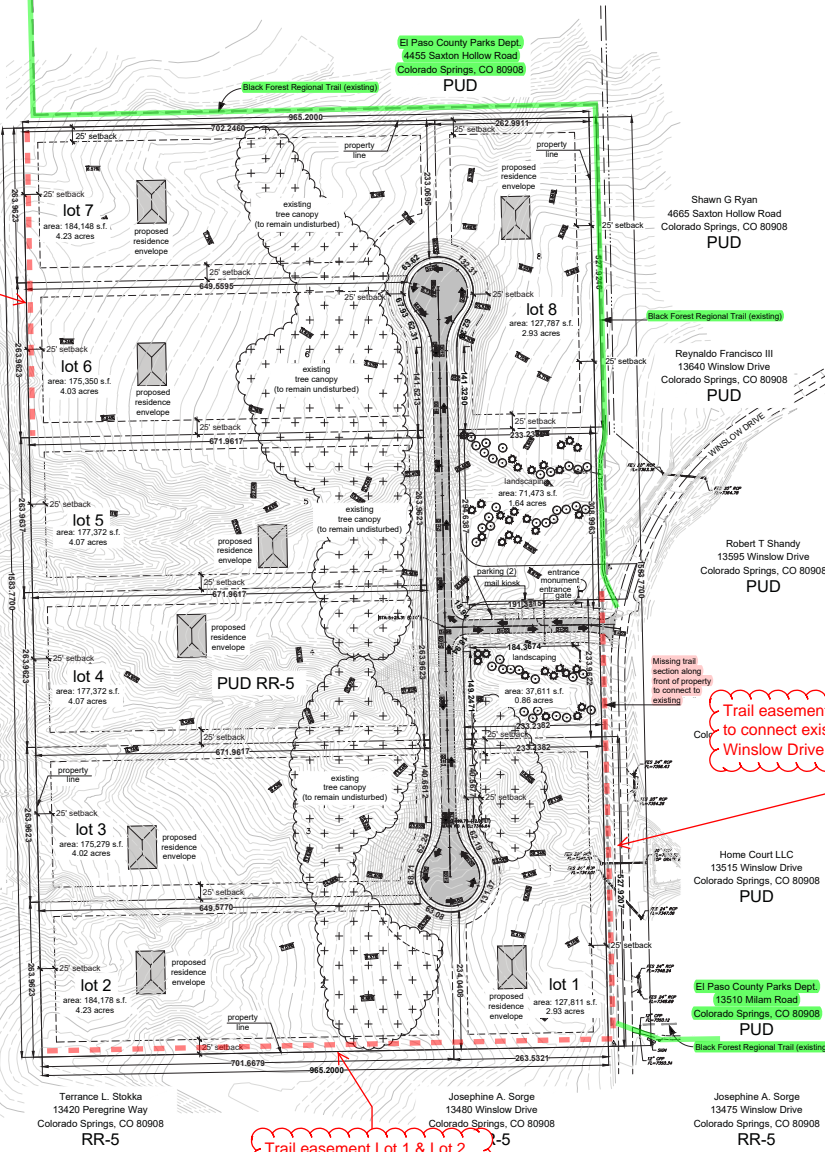
Zonta Partnership LTD LLLP
13580 Bridle Bit Rd.
Colorado Springs, CO 80908
RR-5

ESTATES AT CATHEDRAL PINES

TR IN SE4 SEC 2-12-66 DES AS FOLS: BEG AT SW COR OF SE4 SEC 2, TH N 00°49'17" W 1583.77 FT, N 89°17'56" E 965.20 FT, S 00°49'17" E 1583.77 FT TO A PT ON S LN OF SD SE4, TH S 89°17'56" W 965.20 FT TO POB, TOG WITH INGRESS-EGRESS EASEMENT DES BY REC #200027778. EL PASO COUNTY, COLORADO

Mary Leitha Robison
13855 Highway 83
Colorado Springs, CO 80908
PUD RR-5

Trail easement Lot 6 & Lot 7
Palmer Divide Regional Trail



Trail easement Lot 1 & Lot 2
Palmer Divide Regional Trail

Trail easement Lot 1 & Lot 8
to connect existing trail along Winslow Drive

REG AND ADDRESS:
GREGG & ELAINE CAWFIELD
VILLAGE DEVELOPMENT LLC
5710 VESSEY RD
COLORADO SPRINGS, COLORADO 80908
PHONE: (719) 413-6900
EMAIL: gregg@village.com
Elaine@village.com

APPLICANT:
GREGG & ELAINE CAWFIELD
VILLAGE DEVELOPMENT LLC
5710 VESSEY RD
COLORADO SPRINGS, COLORADO 80908
PHONE: (719) 413-6900
EMAIL: gregg@village.com
Elaine@village.com

PLAN PREPARED:
WILLIAM GUMAN & ASSOC., LTD.
731 N. WEBER STREET
COLORADO SPRINGS, COLORADO 80903
PHONE: (719) 633-9700
EMAIL: bill@guman.net

SCALE: 1" = 100' - 0"
signature block



WILLIAM GUMAN & ASSOC., LTD.
731 N. WEBER STREET
COLORADO SPRINGS, CO 80903
(719) 633-9700
www.guman.net
bill@guman.net



ESTATES AT CATHEDRAL PINES
WINSLOW DRIVE
BLACK FOREST, CO 80908
PUD DEVELOPMENT PLAN

PROJECT NAME:
PROJECT ADDRESS:
DATE: 10/10/2020
UNDESIGNED: GCM
CHECKED: WJS

REVISIONS	DATE	BY	DESCRIPTION

NOTES:

PLAN SCALE: 1" = 100' (25.4 METERS ON PLAN)

SHEET TITLE: PUD DEVELOPMENT PLAN

SHEET NO. 1
1 of 1 SHEETS

FILE NO. FILE#

Development
Application
Permit
Review



PARKS & COMMUNITY SERVICES DEPARTMENT
Park Operations - Community Outreach - Environmental Services
Veterans Services - Recreation / Cultural Services

March 27, 2023

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	The Estates at Cathedral Pines	Application Type:	PUDSP
PCD Reference #:	PUDSP2210	Total Acreage:	35.00
		Total # of Dwelling Units:	8
Applicant / Owner:	Owner's Representative:	Dwelling Units Per 2.5 Acres:	0.57
Villagree Development Corp	William Guman & Associates	Regional Park Area:	2
5710 Vessey Rd	731 North Weber St	Urban Park Area:	2
	Suite 10	Existing Zoning Code:	PUD RR5
Colorado Springs, CO 80908	Colorado Springs, CO 80903	Proposed Zoning Code:	PUD

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.	The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.
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LAND REQUIREMENTS		Urban Density (>= 1 Dwelling Unit Per 2.5 Acres):		NO
Regional Park Area: 2		Urban Park Area: 2		
0.0194 Acres x 8 Dwelling Units = 0.155		Neighborhood:	0.00375 Acres x 8 Dwelling Units =	0.00
Total Regional Park Acres: 0.155		Community:	0.00625 Acres x 8 Dwelling Units =	0.00
		Total Urban Park Acres:		0.00
FEE REQUIREMENTS		Urban Park Area: 2		
Regional Park Area: 2		Neighborhood:		\$114 / Dwelling Unit x 8 Dwelling Units = \$0
\$460 / Dwelling Unit x 8 Dwelling Units = \$3,680		Community:		\$176 / Dwelling Unit x 8 Dwelling Units = \$0
Total Regional Park Fees: \$3,680		Total Urban Park Fees:		\$0

ADDITIONAL RECOMMENDATIONS

Staff Recommendation: The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving The Estates at Cathedral Pines PUDSP: (1) increase open space dedications to minimum 10% consistent with PUD zoning, show them as tracts, and include a land use table on the PUDSP and final plat drawings (2) show on the final plat and dedicate to El Paso County a 25-foot trail easement, north-south along the eastern boundary of Lot 1 and Lot 8 to connect the existing county trail along Winslow Drive; (3) show on the final plat and dedicate to El Paso County a 25-foot trail easement, north-south along the western boundary of Lot 6 and Lot 7 for the Palmer Divide Regional Trail; (4) show on the final plat and dedicate to El Paso County a 25-foot trail easement, east-west along the southern boundary of Lot 1 and Lot 2 for the Palmer Divide Regional Trail; (5) the trail easements shall be shown on the final plat and allow for public access, as well as construction and maintenance by El Paso County; (6) require fees in lieu of land dedication for regional park purposes in the amount of \$3,680 will be due at recording of the forthcoming final plat(s).

Park Advisory Board Recommendation: TBD



William Guman
& Associates, Ltd.

Bill Guman, RLA, ASLA | Principal
Colorado Springs City Councilman 1993-2001
Colorado Springs Planning Commissioner 1992-1993
Regional Building Commissioner 1997-2001

URBAN PLANNING | COMMUNITY DESIGN | LANDSCAPE ARCHITECTURE | ENTITLEMENT

731 North Weber Street, Suite 10 | Colorado Springs, CO 80903 | (719) 633-97

<http://www.gumanltd.com/>

MEMBERS AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS



EL PASO COUNTY

LETTER OF INTENT FOR: THE ESTATES AT CATHEDRAL PINES

COLORADO SPRINGS, CO 80908

PUDSP

TSN 6200000411

PCD File # PUDSP2210

☐ OWNER/APPLICANT, AND PLANNING CONSULTANT:

Owner/Applicant:

Villagree Development Corporation
Gregg Cawfield
5710 Vessey Road
Colorado Springs, CO 80908
(719) 413-6900
Gregg@villagree.com

Planner:

William Guman & Associates, Ltd.
Bill Guman, RLA/ASLA
731 North Weber Street, Suite 10
Colorado Springs, CO 80903
(719) 633-9700
bill@guman.net

El Paso County Planner:

Justin Kilgore, Planning Manager
El Paso County Development Services
2880 International Circle
Colorado Springs, CO 80910
(719) 520-6313

PROJECT LOCATION/DESCRIPTION AND HISTORY OF PROPERTY:

The property for this PUDSP application is located on Winslow Drive, south of Saxton Hollow Road, in the unincorporated community of Black Forest in El Paso County, Colorado. The site is approximately nineteen (19) miles north of downtown Colorado Springs.

As context, the proposal is for approval of a PUDSP of a 35 +/- acre subdivision. Currently, the land is vacant, and has a zoning of PUD RR-5. The plan is to provide eight (8) residential lots on the property. The subdivision is planned with adequate provisions for open space, site access, drainage, and utilities, and is consistent with development existing and proposed in the area.

For this development, eight (8) single family residences shall be provided on approximately thirty-five (35) acres. The El Paso County tax schedule number for the project is 6200000411. No lot shall be less than 5 acres in area. The overall net density for the development is .22 DU/AC. None of the lots proposed encroaches into any floodplain.

Public infrastructure to serve the new lots, including roads, drainage facilities, and utilities will all be constructed in compliance with applicable county standards, regulations and criteria in effect at the time of this application. In keeping with the rural character of the surrounding Black Forest community, internal circulation will be comprised of paved Rural Local roads.

DEVELOPMENT REQUEST

The Owner and Applicant request approval of a PUDSP for the development of eight 8 rural residential single family residential lots on approximately thirty-five 35 acres.

TOTAL NUMBER OF ACRES IN THE DEVELOPMENT AREA: Approximately 35 acres single family residential.

JUSTIFICATION FOR REQUEST

This request is consistent with the purposes of the **Your El Paso County Master Plan (2021)** (adopted May 26, 2021). The proposed Development Plan is in conformance with subdivision design standards and establishes an adequate level of compatibility with surrounding areas of the site already constructed and other known surrounding areas currently proposed for development.

EXISTING AND PROPOSED IMPROVEMENTS

A central drive will be added from Winslow Drive to serve the proposed residences. Drainage facilities will be constructed and maintained in conformance with County standards and specifications. Electric, natural gas, and telecommunication service points-of-connection will be extended from the roadway up to the new lots. Additionally, open, recreational areas are to

flank the entrance drive. There will be entrance signage with the name of the development. There will be a community mail kiosk located along the entrance drive to serve the community.

The required setbacks of 25' from front, rear, and side setbacks have been met with the new lot configuration. No existing building intrudes within the allotted setback. To this end, a site plan has been drawn to demonstrate compliance.

Grading and earthmoving activities will be limited to driveway, drainage and utility construction areas. Individual lot owners will assume responsibility for grading their respective lot; no 'overlot' grading is proposed to occur over most of the site. Additionally, minimal disturbance is planned for the existing coves on site.

Prior to construction of the proposed residence, lot-specific subsurface soil investigations will be performed to determine whether or not shallow groundwater, hydro-compacted soils, and/or potentially expansive soils are present on the lot, and to determine an appropriate foundation design, basement or crawl-space suitability, and/or lot-specific recommendations are necessary to mitigate these conditions. Language requiring lot-specific subsurface soil investigation will appear as a note on the Final Plat.

EL PASO COUNTY ROAD IMPACT FEE PROGRAM

The El Paso County Road Impact Fee Program is applicable and fees will apply.

ANALYSIS OF COMPLIANCE WITH THE SUBDIVISION CRITERIA IN CHAPTER 7 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE (RULES GOVERNING DIVISIONS OF LAND, 7.2.1 (D)(2) PRELIMINARY PLAN)

The plan for The Estates at Cathedral Pines has met the criteria for approval by achieving those standards of conformance outlined in the El Paso County Land Development Code. Addressing the standards called out on Chapter 7, specifically, 7.2.1(D)(2). As described in the following section, the Development Plan adheres to the Your El Paso County Master Plan (2021), with regard to its compatibility with land use and character. The surrounding placetype is complimented through the development of lots no smaller than 2.93 acres, and preservation of open space. Two and a half acres of open space has been designated on-site, along with a goal of minimal disturbance of existing trees within the property.

We shall provide all documentation required by the County throughout the review process for this project. Such material includes, but is not limited to, final plat drawings, legal description, mineral rights certification, title commitment and a vicinity/location map. Documents and plans are subject to review by County engineers and planners, and all comments and requests for revision to come into compliance shall be addressed.

Individual wells will provide water to the homes. A water resources report and a water supply information summary are being prepared for the project.

Legal and physical access is provided to all proposed parcels. Access to the lots is from an internal, paved road. An entrance drive will connect the residences to Winslow Drive. The roadway will be designed to County standard.

Off-site impacts regarding potentially increased traffic volume is anticipated to be negligible, with the proposed addition of a single residence. Stormwater will be retained on-site and directed into detention ponds as needed, thereby avoiding any additional runoff from the property post-development. As a residential community, off-site impacts of light or sound will be minimal.

Upon records search, it was found that no mineral estate owners have claim on the property.

**ADHERENCE WITH THE YOUR EL PASO COUNTY MASTER PLAN (2021), AND
WATER MASTER PLAN**

Land Use & Development, Core Principle: Manage growth to ensure a variety of compatible land uses that preserve all character areas of the County.

The 2021 Your El Paso County Master Plan (the “Master Plan”) addresses issues directly related to the Development Plan and development of the *Estates at Cathedral Pines* development. The policies specifically related to the Development Plan request include:

Goal 1.1 - *Ensure compatibility with established character and infrastructure capacity*

The Development Plan proposed for the new single family rural residential lots is compatible with the existing adjacent Large-Lot Residential lots along Winslow Drive. New lots will be similar in size to existing lots, and roads serving the new lots will be compatible with the types of local roadways in nearby adjacent neighborhoods. Zoning of neighboring lots is PUD.

Goal 1.4 – *Continue to encourage policies that ensure “development pays for itself”.*

The Estates at Cathedral Pines is proposed as a development of eight single family residences within a non-urban density, Large-Lot Residential area of the Black Forest community. Utilities and road infrastructure needed to serve the new lots, such as new drives, drainage and detention facilities, erosion control, etc. will eventually be constructed as part of this development.

Housing & Communities, Core Principle: Preserve and develop neighborhoods with a mix of housing types.

Goal 2.2 – Preserve the character of rural and environmentally sensitive areas.

The Development Plan with PUD zoning for the site is harmonious and compatible with the Large-Lot Residential character of adjacent and nearby neighborhoods that are also zoned PUD. The Applicant proposes to avoid overlot grading across the 35 acre site, and instead will limit grading to roadways and drainage infrastructure in keeping with the established land use character of surrounding sub-areas of the county. Lower density will help to sustain the appearance and unique environmental conditions of adjacent properties.

Transportation & Mobility, Core Principle: *Connect all areas of the County with a safe and efficient multimodal transportation system.*

Goal 4.2-Promote walkability and bikability where multimodal transportation systems are feasible.

Walking paths, trails and other designated routes to provide additional access and recreational areas are an important component of the Large-Lot Residential placetype. The quiet nature of this location provides access to nearby hiking trails, equestrian trails and other light impact adjacent to the proposed development. Non-motorized multi-modal transportation linkages are available within the neighborhood. A connection for the Black Forest Regional Trail is proposed along the eastern boundary of this development, linking the trailway sections along the north and south of the property.

Community Facilities & Infrastructure, Core Principle: *Continue to coordinate with local and regional agencies to provide well-managed, high-quality community facilities and services.*

Goal 5.3 – Ensure adequate provision of utilities to manage growth and development.

Electric, natural gas, and telecommunication service points-of-connection will be extended from the roadway up to the new lots. Wells will be provided on individual lots for water. All lots will have private, on-site, septic systems.

Goal 5.4-Use best management practices to protect water quality, conserve water, minimize impacts of flooding, and beautify El Paso County.

The development shall adhere to the four step process to minimize adverse impacts of development. This includes reducing runoff volumes, stabilizing drainageways, treating the water quality capture volume (WQCV), and consider the need for Industrial Commercial best management practices (BMPs).

Environment & Natural Resources, Core Principle: Prioritize and protect the County's natural environment.

Goal 9.2- *Promote sustainable best practices with regard to development and infrastructure.*

The surrounding area of the Development Plan has sufficient carrying capacity to support the new development with regard to roadway capacity, water supply, septic suitability, educational facilities, and organized structural fire protection (Black Forest Fire Rescue Protection District).

The Development Plan design, which includes home sites ranging from 2.93 acres to 4.23 acres preserves expanses of open space, ensures that development of this site will remain compatible and contiguous with existing rural residential areas. At .22 DU/AC, The Estates at Cathedral Pines is compatible with adjacent properties in the community.

END

El Paso County Park Advisory Board

Agenda Item Summary Form

Agenda Item Title: Crawford Ave. Multi-Family Final Plat

Agenda Date: April 12, 2023

Agenda Item Number: #6 - B

Presenter: Greg Stachon, Landscape Architect

Information: **Endorsement:** X

Background Information:

This is a request by Kimley-Horn Associates on behalf of Aime Ventures, LLC for endorsement of the Crawford Ave. Multi Family Final Plat. The property is part of the Fountain Valley Ranch Sketch Plan which dates back to 1986 and covers a 415 acre area of commercial, office, and residential land uses. The subject property is a 1.16 acre lot on the northwest corner of Grinnell Street and Crawford Ave. The applicant intends to develop two (2) story buildings on the site which will include 22 multifamily units. The proposed development will include landscaping, open space, and surface parking.

The El Paso County Parks Master Plan (2013) identifies the proposed Grinnell Boulevard Secondary Regional Trail 400' to the east of the tract. This route will be accommodated on the east side of Grinnell Boulevard and will not impact the proposed development. The project is not located within any Candidate Open Space.

Please note that park fees are currently being calculated using 2022 rates. An update to both regional and urban park fees is expected in 2023. Once established, all development applications (preliminary plans and final plats) filed in 2023 will be recalculated at the 2023 rate.

Recommended Motion (Final Plat):

The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Crawford Ave Final Plat: require fees in lieu of land dedication for regional park purposes in the amount of \$10,120, and urban park fees in the amount of \$6,380.

Development
Application
Permit
Review



COMMUNITY SERVICES DEPARTMENT

Park Operations - Environmental Services - Recreation / Cultural Services

April 12, 2023

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	Crawford Ave Multifamily Final Plat	Application Type:	Final Plat
PCD Reference #:	SF235	Total Acreage:	1.16
		Total # of Dwelling Units:	22
Applicant / Owner:	Owner's Representative:	Dwelling Units Per 2.5 Acres:	47.41
Aime Ventures LLC	Kimley-Horn Associates	Regional Park Area:	4
Christel Aime	Raimere Fitzpatrick	Urban Park Area:	4
1900 E Pikes Peak Ave, Suite 3	2 North Nevada Ave, Suite 300	Existing Zoning Code:	CC
Colorado Springs, CO 80909	Colorado Springs, CO 80903	Proposed Zoning Code:	RM30

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.

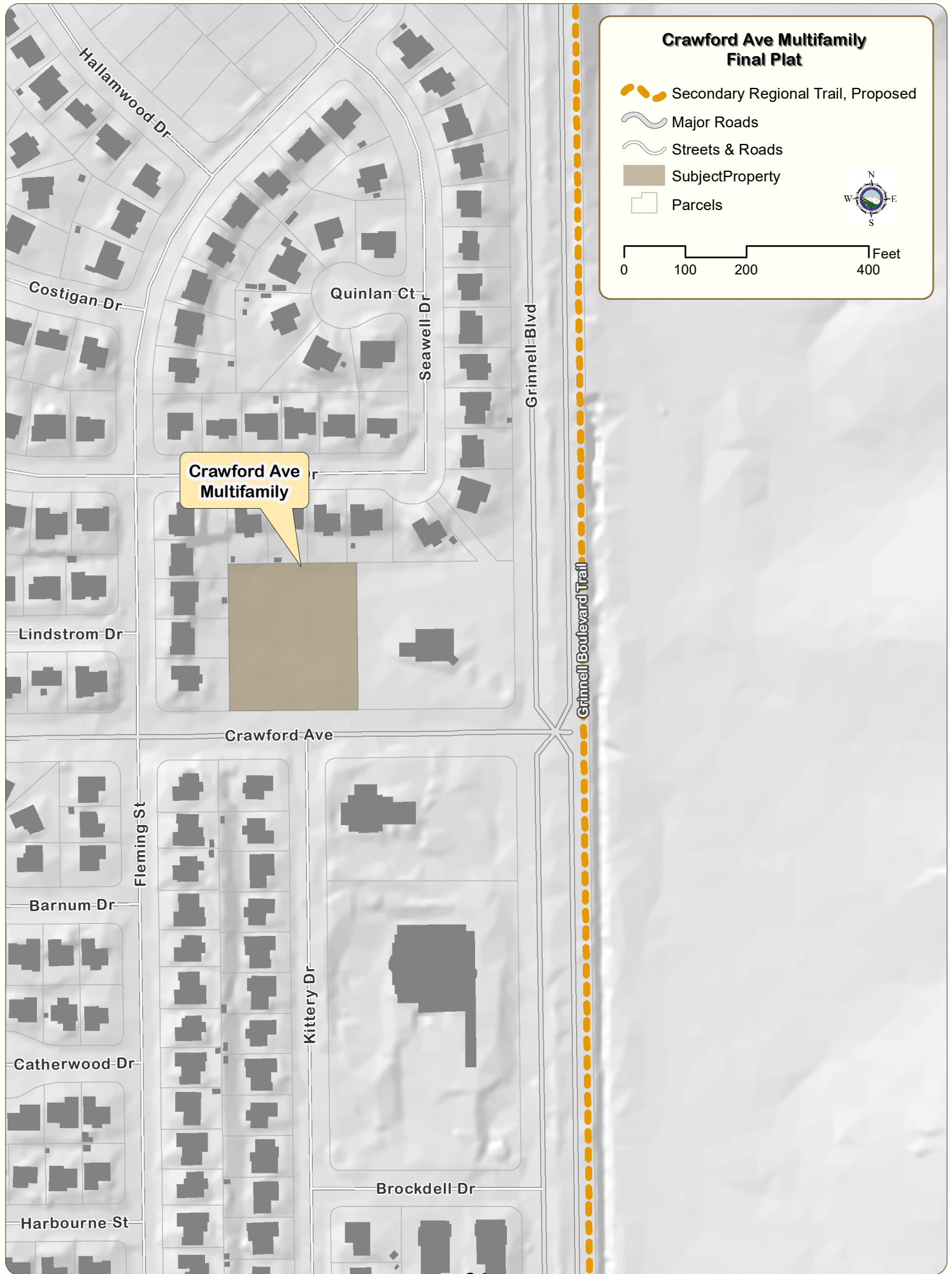
The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.

LAND REQUIREMENTS	Urban Density (≥ 1 Dwelling Unit Per 2.5 Acres):	YES
Regional Park Area: 4	Urban Park Area: 4	
0.0194 Acres x 22 Dwelling Units = 0.427	Neighborhood: 0.00375 Acres x 22 Dwelling Units = 0.08	
Total Regional Park Acres: 0.427	Community: 0.00625 Acres x 22 Dwelling Units = 0.14	
	Total Urban Park Acres: 0.22	
FEE REQUIREMENTS	Urban Park Area: 4	
Regional Park Area: 4	Neighborhood: \$114 / Dwelling Unit x 22 Dwelling Units = \$2,508	
\$460 / Dwelling Unit x 22 Dwelling Units = \$10,120	Community: \$176 / Dwelling Unit x 22 Dwelling Units = \$3,872	
Total Regional Park Fees: \$10,120	Total Urban Park Fees: \$6,380	

ADDITIONAL RECOMMENDATIONS

Staff Recommendation:	The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Crawford Ave Final Plat: require fees in lieu of land dedication for regional park purposes in the amount of \$10,120, and urban park fees in the amount of \$6,380.
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Park Advisory Board Recommendation:





CRAWFORD AVENUE MULTIFAMILY FINAL PLAT

February 2023

APPLICANT-OWNER/CONSULTANT INFORMATION:

OWNER

AIME MANAGEMENT, LLC
ATTN: CHRISTEL AIME CEO
1900 E. PIKES PEAK AVE., SUITE #3
COLORADO SPRINGS, CO 80909
CAime@aime-management.com
719- 391- 4444

APPLICANT

JOHN P. NELSON ASSOCIATES
1626 E. PIKES PEAK AVE.
COLORADO SPRINGS, CO 80909
719-632-3384
John@jpnarch.com

PLANNING

KIMLEY-HORN AND ASSOCIATES, INC.
ATTN: LARRY SALAZAR
2 NORTH NEVADA AVENUE, SUITE 900
COLORADO SPRINGS, CO 80903

TRANSPORTATION ENGINEERING (TRAFFIC IMPACT STUDY)

KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237

ENGINEERING:

JPS ENGINEERING, INC.
JOHN P. SCHWAB
19 E. WILLAMETTE AVENUE
COLORADO SPRINGS, CO 80903

SURVEYING

OLIVER E. WATTS CONSULTING ENGINEER, INC.
614 ELKTON DRIVE
COLORADO SPRINGS, CO 80907
ATTN: OLLIE WATTS, PE
(719) 593-0173
olliewatts@aol.com

REQUEST

The owner/applicant(s) has gone through the Rezone (P221- Approved 8/2/2022) and Sketch Plan Amendment (SKP221-Approved 5/18/2022) approvals for the 1.16 AC zoned RM-30 (Residential Multifamily) CAD-O (Commercial Airport Overlay District, ANAV (Aircraft Navigation Subzone) zone.

The Applicant intends to develop 22 multifamily units on the Site with a maximum density of 20 DU/AC in the approved RM-30 zone. The planned community includes: two (2) story multifamily unit buildings, landscaping, and open space. Parking will be provided by uncovered surface parking. The Final Plat is to be processed and approved prior to approval of site development plan.

REVIEW CRITERIA & JUSTIFICATION

The Applicant requests approval of the Site Development Plan based on findings of consistency and general conformance with the approved map amendment. Master Plan conformity will be discussed in terms of general conformity with the Your El Paso Master Plan (Master Plan) and El Paso County Water Master Plan (WMP).

A. The application is in general conformance with the El Paso County Master Plan including applicable Small Area Plans or there has been a substantial change in the character of the neighborhood since the land was last zoned;

The proposed Site Development Plan is in general conformance with the El Paso County Master Plan as discussed in detail below. This development pattern is consistent with the location and primary/supporting land uses of the Suburban Residential Placetype shown on the Placetypes Map in the Master Plan as confirmed with the Sketch Plan and Zone Change approvals.

The subject site remains vacant. The proposed multifamily units will complement the residential environment and provide a transition to the office use located on the corner of Crawford Ave and Grinnell Street.

Your El Paso Master Plan: LAND USE

Key Areas – identifies those areas of the County that are defined by unique localized characteristics having influence on land use and development. The property is located within a military Installations and 2-Mile Notification Key Area.

Areas of Change – identifies areas of the County that are anticipated to remain the same, undergo minor changes, or develop in a manner consistent with the exist area today. The project area is located within an area of “Minimal Change”: Developed area on the Areas of Change Map. These areas are characterized as

- having an established character
- being largely built out with pockets of vacant/undeveloped land
- likely to see more intense infill development with a mix of uses and scale of redevelopment that will significantly impact the character of an area

The project proposes a more intense infill development (multifamily) that is located between existing commercial (financial institution) and single-family detached residential. The inclusion of the multifamily densities will not significantly impact the character of the area.

Placetypes – identifies the different development and land use characteristics for areas of the County that make up the various Placetypes, which serve as the base for long-range planning. The project area is located within a suburban residential placetype. Primary land uses include single-family detached residential. “Supporting Land Uses in the Suburban Residential Placetype are Single-family Attached, Multifamily Residential, Parks/Open Space, Commercial Retail, Commercial Service, and Institutional uses”.

PLACETYPES	LAND USES															
	Agriculture	Farm/Homestead	Estate	Single-Family Detached	Single-Family Attached	Multifamily	Mixed Use	Restaurant	Commercial Retail	Commercial Service	Tourism Commercial	Entertainment and Arts	Office	Light Industrial/Business Park	Heavy Industrial	Military Operation
Rural	●	●	○												●	○
Large-Lot	○		●					○	○						○	
Suburban			●	○	○			○	○						○	○
Urban Residential			●	●	●		○	○	○			○			○	○
Rural Center			●	○	○			●	●	●						●
Regional Center				○	●	○		●	●	●		●	○			○
Employment Center							○	○	○			●	●	●		
Regional Open Space															●	●
Mountain Interface			○					○	○	○	○				●	○
Military			○	○	●			○	○	○		○	●	●	○	○
Utility															○	●

● Primary Land Use: More prominent and play a pivotal role in characterizing that placetype
 ○ Supporting Land Use: Less prevalent and serve to support the primary land use

Per the Plan, “Suburban Residential is characterized by predominantly residential areas with mostly single-family detached housing. This project is supportive of and compatible with the overall single-family character of the area based on the place-type

Your El Paso Land Use Goals

Goal 1.1 - Ensure compatibility with established character and infrastructure capacity.

The proposed development is consistent with the established character of the area as a transitional land use between existing commercial and office land uses and detached residential densities. The multifamily infill development is a compatible land use to transition

from commercial and office densities at the Grinnell/Crawford Ave intersection on the east to the surrounding detached residential (single-family) densities and land uses west, north, and south of the Site.

Necessary urban services to meet the multifamily demands are available and currently serving adjacent and nearby residential, commercial, industrial land uses and densities. Specific services include water/wastewater, fire protection, emergency ambulatory/medical service (EMS), police protection, public schools for compulsory education, public parks and recreation opportunities, and public drainage/transportation facilities and associated infrastructure.

Public services and utilities are, or will be, provided by the following

- Water & Wastewater Services: Security Water/Sanitation District
- Natural Gas: Colorado Springs Utilities
- Electric Service: City of Fountain Electric
- Fire Protection: Security Protection District
- Public Schools: Widefield School District #3
- Library Services: Pikes Peak Library District:
- Roads: El Paso County Road and Bridge
- Police Protection: El Paso County Sheriff's Department
- Special District Services: Fountain Mutual Metropolitan District
- Special District Services: Southeastern Colorado Water Conservancy
- Parks, Trails, Open Spaces: El Paso County, City of Colorado Springs, CMD

Utility and fire protection commitments and use specific service demands and delivery requirements are provided per the multifamily project.

Infrastructure Capacity (Transportation and Access – Summarized from TIS)

Based on the TIS prepared by Kimley-Horn in support of the development plan, the Project is expected to generate approximately 218 weekday daily trips, with 30 of these trips occurring during the morning peak hour and 32 of these trips occurring during the afternoon peak hour. Based on the analysis presented in the report, it is believed that the Project will be successfully incorporated into the existing and future roadway network. Analysis of the existing street network, the proposed project development, and expected traffic volumes resulted in the following conclusions and recommendations:

- *Based on El Paso County standards, the northbound left turn length requirements at the Crawford Avenue and Grinnell Boulevard intersection are 335 feet plus a 200-foot taper. Since vehicle queues are only calculated with 50 feet of storage and to avoid reconstructing the existing raised median for only an additional 35 feet of length, it is recommended that the existing median for the northbound left turn lane at Crawford Avenue and Grinnell Boulevard intersection remain in the current condition. However, the northbound left turn lane at the Crawford Avenue and Grinnell Boulevard intersection should be restriped from approximately 150 feet to 300 feet of length.*

- *To meet El Paso County standards, it is recommended that the southbound right turn lane at the intersection of Crawford Avenue and Grinnell Boulevard be restriped to 335 feet with a 200-foot taper.*
- *Any on-site or offsite improvements should be incorporated into the Civil Drawings and conform to standards of El Paso County and the Manual on Uniform Traffic Control Devices (MUTCD) – 2009 Edition.*
- *No westbound right turn lane into the Site is warranted at the Kittery/Crawford intersection based on projected 2045 total traffic volumes being 27 westbound right turns during the peak hour and the threshold being 50 vehicles per hour.*

Goal 1.2 - Coordinate context-sensitive annexation and growth strategies with municipalities.

The property is outside of any annexation boundary or potential area of interest.

Goal 1.3 - Encourage a range of development types to support a variety of land uses.

The proposal introduces a positive alternate housing type and density as an infill use of a vacant parcel. The multifamily use is supportive of the primarily residential character of the area.

Goal 1.4 - Continue to encourage policies that ensure “development pays for itself”.

The developer will be responsible for payment of all utility connection and tap fees, bridge, drainage, park and school fees, road impact fees, and other costs associated with development of the property.

Your El Paso Housing Goals:

Core Principle 2: Preserve and develop neighborhoods with a mix of housing types.

Goal 2.1 - Promote development of a mix of housing types in identified areas.

Goal 2.3 - Locate attainable housing that provides convenient access to goods, services, and employment.

The housing type in the area is characterized by suburban residential (single-family detached) densities.

The existing and approved land use mix within the adjacent area includes residential (single-family attached, single-family detached, and multifamily) land uses, together with commercial and retail uses, service oriented, light, and heavy industrial land uses along and adjacent to the Constitution Corridor from Peterson Road to the west to the easternmost terminus of Constitution Avenue to the east at State Highway 24, along the Marksheffel Corridor from North Carefree to the north southerly to the intersection of Marksheffel Road and State Highway 94 to the south (see surrounding land use map exhibit/not vicinity map).

The proposed multifamily housing development will provide an additional 22 apartment units to the available rental housing market supply. This housing will create opportunities for individuals and families to find attainable and affordable housing near conveniently located major transportation thoroughfares (Powers Blvd, SH 85/87, & I-25) which can connect them to employment centers, commercial/retail corridors and nodes, and recreational opportunities throughout the El Paso County region.

The functionality of the Site with respect to access, design, and building orientation will be consistent with and compatible with existing conditions such as location and massing of buildings relative to adjacent rights of way, location of community/resident amenities and recreation areas. External building design will enhance the overall visual character and attractiveness of the area through contemporary building facades and private architectural design standards.

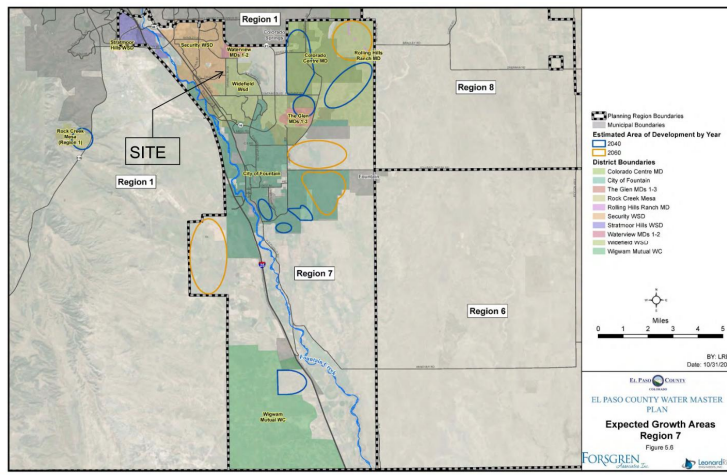
WATER MASTER PLAN CONFORMANCE & CONSIDERATIONS

- **Goal 1.1 – Ensure an adequate water supply in terms of quantity, dependability, and quality for existing and future development.**
- **Goal 6.0 – Require adequate water availability for proposed development.**
- **Policy 6.0.8 – Encourage development patterns and higher density, mixed use developments in appropriate locations that propose to incorporate meaningful water conservation measures.**
- **Policy 6.0.11– Continue to limit urban level development to those areas served by centralized utilities.**

The development area is located in REGION 7 as identified on the El Paso County Water Master Plan Planning Regions Map and is within the Security Water and Sanitation District Service Area. Region 7 consists of areas served by CMD and is not expected to experience significant growth by 2060.

REGION 7 (FOUNTAIN AREA)

Areas projected to develop by 2040 are located south of Fountain on the north and south sides of Link Road. Areas northwest of Fountain along the east and west sides of Marksheffel Road are also expected to grow by then, as well as the area south of Fountain on the west side of I-25. Directly west of Fountain, areas north and south of Squirrel Creek Road are expected to grow by 2060. One large development is expected south of Fountain by 2060, along the west side of I-25. Another is expected in the northeast corner of Region 7, along both sides of Bradley Road. See Figure 5.6 for the Region 7 growth map (BELOW).



The project area is located outside of the areas identified for major growth in the 2040 and 2060 horizons. District water supplies are from the Pueblo Reservoir and, according to the District, meets all federal and state regulatory standards. Existing groundwater wells (25) have been shut down due to water quality concerns (PFC's) in 2016. Currently, the district transports water from the Pueblo Reservoir via the Fountain Valley Authority and Southern Delivery System infrastructure systems.

Water sufficiency is provided for submittal, review, and approval as part of this process. See the included commitment letter and water resource report.

Surrounding land uses and zoning include the following:

NORTH: Single-family Detached housing
 EAST: Commercial (Credit Union)
 SOUTH: Single-family Detached housing; Medical/office
 WEST: Single-family Detached housing

Roadways, driveways, utilities, drainage, etc. will be constructed in the most optimal and efficient manner as necessary to facilitate development construction and sequencing. Utilities for the multifamily community will be coordinated with the associated districts and providers as required. A minimum 15-foot landscape buffer and setback will be provided against roadway, residential, and commercial uses.

Additional information related to this Site and the requested development plan: The subzones CAD-O and ANAV Multifamily residential is allowed. Per the El Paso County, Land development code, Appendix B, Chapter 7, Article 1, 4.3.1(F) the request was referred to the

Airport Advisory Commission as part of the zone change and Sketch Plan amendment phase. The airport staff had no objection with the following conditions:

1. *Proof of Avigation Easement filing noted on rezoning plan (Recorded September 27, 1985 in Book 5067 at Page 379); no further action is required.*
2. *Airport Acknowledgement: Upon accepting residency within the property, all adult residents and occupants shall be required to sign a notice in which the tenant acknowledges that the property lies within an Airport Overlay Zone and is located less than 3 miles from Colorado Springs Municipal Airport and may, at times (24 hours per day), experience noise and other activities and operations associated with aircraft at the Airport.*
3. *FAA Form 7460-1 Airspace Evaluation: If use of equipment (permanent or temporary) will exceed 200 feet above ground level in height at this site, the applicant is to file an airspace evaluation case with the federal aviation administration (FAA) and provide the results to the airport before the commencement of construction activities.*

B. The site is suitable for the intended use, including the ability to meet the standards as described in Chapter 5 of the Land Development Code, for the zone district.

The Site is suitable for the intended use, including the ability to meet the standards as described in Chapter 5 of the County Code.

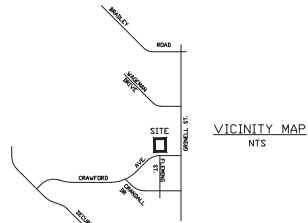
The Site is located adjacent to existing utility infrastructure and service lines. No major utility improvements or upgrades are anticipated to adequately serve the Site.

The functionality of the Site with respect to access, design, and building orientation is consistent with and compatible with existing conditions, such as location and massing of buildings relative to adjacent rights of way and view corridors and adjacent uses.

The Site is suitability terms of geology, service availability, environmental impacts, major land use impacts, aviation overlay impacts, and military adjacency considerations.

CRAWFORD APARTMENTS SUBDIVISION

A SUBDIVISION OF TRACT A, FOUNTAIN VALLEY RANCH SUBDIVISION FILING NO. 6B
EL PASO COUNTY, COLORADO



Scale 1" = 50'

LEGEND:

- SET 2" AL. CAP, #9553 ON #5 REBAR
- △ FOUND RED #25968 CAP ON #4 REBAR

NOTES:

- Bearings are based on the record bearing of N89°18'44"E for the south line of Block 7, Fountain Valley Ranch Subdivision Filing No. 6B, monumented on the southwest of Lot 16, and on the southeast of Lot 13 by a 1" red plastic caps, marked PLS 25968 on a # 5 rebar, buried 2", as shown on the plat.
- Survey monuments found or set are at ground level unless otherwise noted on the plat.
- Title information was provided by the client as follows:
Title Company: Old Republic National Title Insurance Company
Order Number: SC35102334
Effective date: 12/20/2021 at 5:00 P.M.
This survey does not constitute a title search or opinion.
- Notice: according to Colorado law, you must commence any legal action based upon any defect in the survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.
- Flood plain:
According to the current effective Federal Emergency Management Agency Flood Insurance Rate Map, the subject property is located outside the boundary of the 100 Year Floodplain, as identified on FEMA Mapping Panel No. 08041C0951 G, dated December 7, 2018.
- Units of measurement: US Survey Feet
- The following reports have been submitted in association with the Preliminary Plan or Final Plat for this subdivision and are on file at the County Planning and Community Development Department: (Drainage Report) Water Resources Report; Soils and Geology and Soils Report; Fire Protection Report; Natural Resources Report; Traffic Impact Study; Wastewater Treatment Report.
- All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.
- Easements: Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 Foot public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.
- Environmental Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse).
- Addresses: The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.
- Mailboxes: Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.
- Driveway Note: Individual lot purchasers are responsible for constructing driveways, including necessary drainage culverts from the private road per Land Development Code Section 6.3.C.2 and 6.3.C.3
- Water Supply: Water is supplied by Security Water and Sanitation District, per agreement recorded June 30, 1987, in Book 5388 at Page 1067, and agreement recorded April 21, 2008, under Reception No. 2008044754.
- Wastewater: Wastewater is supplied by Security Water and Sanitation District, per agreement recorded June 30, 1987, in Book 5388 at Page 1067, and agreement recorded April 21, 2008, under Reception No. 2008044754.
- An Avigation Easement recorded September 27, 1985 in Book 5067 at Page 379, affects the site.
- All structural foundations shall be located and designed by a Professional Engineer, currently registered in the State of Colorado.
- The Subdivider(s) agree(s) on behalf of himself/herself and any developer or builder successor and assigns that Subdivider and/or said successor and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 18-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.
- The site is part of the Fountain Mutual Metropolitan District, as evidenced by instrument recorded June 19, 2001, under Reception No. 2008044754.

Know all men by these presents

That, AIME VENTURES, LLC, A COLORADO LIMITED LIABILITY COMPANY being the owner of the following described tract of land, to wit:
Tract A, Fountain Valley Ranch Subdivision Filing No. 6B, County of El Paso, State of Colorado, according to the plat thereof recorded December 11, 1995 in Plat Book II-S at Page 151 of the records of Said County and containing 50,400 sf / 1.157 ac

Daners Certificate

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into a lot and easements as shown hereon under the name and subdivision of Crawford Apartments Subdivision. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

AIME VENTURES, LLC, A COLORADO LIMITED LIABILITY COMPANY

By Christel Aine
Title: CEO
1900 E. Pikes Peak Avenue, Suite #3
Colorado Springs, CO 80909

STATE OF COLORADO)
COUNTY OF EL PASO) SS

Acknowledged before me this ____ day of _____, 20____ by _____

My commission expires _____

Witness my hand and official seal _____
Notary Public

This plat for Crawford Apartments Subdivision was approved for filing by the El Paso County, Colorado Planning and Community Development Department Director on the _____ day of _____, 20____, subject to any notes or conditions specified hereon.

Planning and Community Development Director

Surveyors Certificate

I, Oliver E. Watts, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on 11-10-21, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1/10,000; and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and all applicable provisions of the El Paso County Land Development Code.

I attest the above on this _____ day of _____, 20____.

Oliver E. Watts, Colorado PE-LS No. 9853
For and On Behalf of: Oliver E. Watts, Consulting Engineer, Inc.

STATE OF COLORADO
COUNTY OF EL PASO
I hereby certify that this instrument was filed in my office on this ____ day of _____, 20____, and was recorded at Reception Number _____ of the records of El Paso County

El Paso County Clerk and Recorder

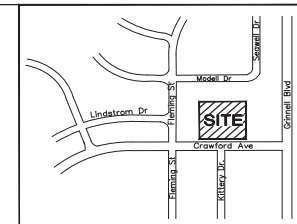
Fee: _____
Surcharge: _____

School Fees: _____ Park Fees: _____ Drainage Fees: _____ Bridge Fees: _____

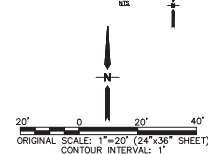
PCD File No:

OLIVER E. WATTS CONSULTING ENGINEER COLORADO SPRINGS 1-9-23 OEW 21-5725-04

Prepared by the office of:
Oliver E. Watts, Consulting Engineer, Inc.
614 Elton Drive
Colorado Springs, CO 80907
(719) 593-0173 office
(719) 265-9560 fax
Oliver@owec.com
Celebrating over 43 years in business



VICINITY MAP



KEYED NOTES:

- 1 TOPSOIL & STRIPPINGS STOCKPILE AREA
- 2 CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THE SITE TO MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADERS WITH 3:1 MAX. SLOPE.
- 3 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 4 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" ASPHALT OVER 6" AGGREGATE BASE UNLESS NOTED OTHERWISE)
- 5 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- 6 MIN 4'x4" CONCRETE LANDING AT DOOR W/2.0% MAX. SLOPE AWAY FROM BUILDING

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 856 CY
* TOTAL FILL = 707 CY
NET (CUT) = 43 CY
* (ASSUMES 15% COMPACTION FACTOR)

* (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

EROSION CONTROL LEGEND

LEGEND:

- | | | | | |
|---|-----------------------|--|-------|--|
| (SF) | SILT FENCE | | ----- | EASEMENT LINE |
| (VTC) | VEHICLE TRACKING PAD | | 7140 | PROPOSED CONTOUR |
| (IP) | INLET PROTECTION | | 7142 | EXISTING CONTOUR |
| (S) | SEED & MULCH | | 99.0 | PROPOSED SPOT ELEVATION (FLOWLINE) |
| (CWA) | CONCRETE WASHOUT AREA | | 99.0 | EXIST. SPOT ELEVATION |
| | | | TW | TOP OF RETAINING WALL |
| | | | BW | BOTTOM OF RETAINING WALL |
| | | | CUT | CUT/HILL DEMARCATION LINE |
| | | | FILL | |
| | | | LOO | LIMIT OF CONSTRUCTION/ DISTURBANCE |
| NOTE: | | | | |
| ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPILLS RESPONSE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS | | | | |
| | | | DS | DOWNSPOUT CONNECTION TO STORM SEWER; INSTALL TRANSITION COUPLINGS & EXTEND 4' PVC (SDR35) AT 1.0% MIN. SLOPE TO SD |
| | | | | FLOW DIRECTION ARROWS |

SWMP NOTE:

1. EXISTING VEGETATION CONSISTS OF NATIVE GRASSES

CONTROL MEASURE /BMP PHASING:

INITIAL CONTROL MEASURES

- VTC
- SILT FENCE ALONG DOWNSTREAM EDGE OF GRADING LIMITS

INTERIM CONTROL MEASURES:

- INLET PROTECTION
- TEMPORARY SEED & MULCH

FINAL CONTROL MEASURES:

- SEEDING & MULCHING



JPS
ENGINEERING

19 E. Willamette Ave.
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
-800-922-1987
ALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

No.	REVISION	BY	DATE
A	DP SUBMITTAL	JPS	11/17/22

SITE GRADING AND EROSION CONTROL PLAN

HORIZ. SCALE:	1"=20'	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	WATTS	CHECKED:	JPS
CREATED:	08/29/22	LAST MODIFIED:	11/17/22
PROJECT NO:	122102	MODIFIED BY:	PV

C1.1

El Paso County Park Advisory Board

Agenda Item Summary Form

Agenda Item Title: 2023 Park Advisory Board Tour
Agenda Date: April 12, 2023
Agenda Item Number: #7 - A
Presenter: Brian Bobeck, Park Operations Division Manager
Information: X **Endorsement:**

Background Information

The Park Advisory Board traditionally conducts a tour of selected park sites in late spring. The 2023 tour will be Friday, May 12 from 10:00 a.m. to 2:00 p.m. We will tour the following South District park properties.

- Stratmoor Hills Community Park
- Stratmoor Valley Trailhead Park
- Widefield Community Park
- John Ceresa Memorial Park
- Willow Springs Ponds
- Fountain Creek Nature Center
- Fountain Creek Regional Park
- Hanson Trailhead
- Kane Ranch Open Space

We will meet at Park Administration located in Bear Creek Regional Park, 2002 Creek Crossing, Colorado Springs at 9:45 a.m. Lunch will be provided.

Recommended Motion:

Discussion

El Paso County Parks

Agenda Item Summary Form

Agenda Item Title: Park Lands Agreement – The Ridge at Lorson Ranch
Filing No. 2 and Filing No. 3

Agenda Date: April 12, 2023

Agenda Item Number: # 7 - B

Presenter: Jason Meyer, Planning Supervisor

Information: **Endorsement:** X

Background Information:

Lorson Ranch is a 1,412-acre mixed-use development located east of Fountain, near Marksheffel Road and Fontaine Boulevard. The developer, Lorson LLC, is in the process of completing the requirements of a Final Plat subdivision application for The Ridge at Lorson Ranch Filing No. 2 and Filing No. 3. The Ridge at Lorson Ranch Filing No. 2 totals 57.90 acres and consists of 277 single family residential lots. The Ridge at Lorson Ranch Filing No. 3 totals 40.76 acres and consists of 182 single family residential lots. Both final plat applications were previously considered by the Park Advisory Board in March 2022.

Lorson, LLC, has indicated their intention to construct urban park amenities within Filing No. 2 Tract E, which is located on the border between Filing No. 2 and Filing No. 3, and has requested the waiver of all urban park fees for both final plat applications.

Please find attached the proposed Park Lands Agreements for The Ridge at Lorson Ranch Filing No. 2 and Filing No. 3 that includes providing \$133,110 in urban park fee credits for the installation of urban park amenities within The Ridge at Lorson Ranch Filing No. 2 Tract E. Urban Park amenities include installation of a splash pad. Other supporting site improvements will be installed, but are not included in the agreement.

County Parks is proposing to grant Lorson, LLC, credit for the urban park fees provided the Property Owner installs urban park amenities of an equal or greater value to serve the residents within Lorson Ranch East Filing No. 2 and Filing No. 3. The Developer estimates the overall cost of the splash pad to be approximately \$149,495.58. The urban park improvements are subject to review and acceptance by the County, and all improvements shall be installed in compliance with applicable County regulations, resolutions, and standards. The park will be maintained by the Developer or the Lorson Ranch Metropolitan District.

Recommended Motion:

Move to endorse the approval of the Park Lands Agreement for The Ridge at Lorson Ranch Filing No. 2 and Filing No. 3 subject to final revisions by the County Attorney's Office and Board of County Commissioners.

PARK LANDS AGREEMENT

THE RIDGE AT LORSON RANCH FILING NO. 2 & NO. 3

THIS PARK LANDS AGREEMENT ("the Agreement") is made and entered into this _____ day of _____, 2023, by and between Lorson, LLC ("Property Owner"), LORSON RANCH METROPOLITAN DISTRICT ("District") and EL PASO COUNTY, BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS of EL PASO COUNTY COLORADO ("County").

RECITALS

A. Property Owner is the developer of a large parcel of property situated in an unincorporated portion of El Paso County, State of Colorado, consisting of approximately 1,412 acres and commonly known and described as Lorson Ranch (the "Property"), which Property was approved for development by the Board of County Commissioners of El Paso County in 2000.

B. Property Owner has received approval of the Final Plat application for a portion of the Property to be platted as The Ridge at Lorson Ranch Filing No. 2 for development of 277 single-family residential lots.

C. Property Owner has received approval of the Final Plat application for a portion of the Property to be platted as The Ridge at Lorson Ranch Filing No. 3 for development of 182 single-family residential lots.

D. Pursuant to the requirements of the El Paso County Land Development Code (the "Code"), the Parks and Community Services Department estimates the Urban Park Fees for The Ridge at Lorson Ranch Filing No. 2 and The Ridge at Lorson Ranch Filing No. 3 to be \$80,330 and \$52,780 respectively.

E. The County desires to grant the Property Owner \$133,110 in Urban Park Fee Credits, as the Property Owner or District will install urban park improvements of an equal or greater value to certain parcels identified as Tract E, The Ridge at Lorson Ranch Filing No. 2, which will provide urban recreation opportunities for residents living in Filing No. 2 and Filing No. 3.

NOW, THEREFORE, for and in consideration of the mutual promises and covenants hereinafter set forth, as well as the above Recitals, which are a material part hereof, the County, District and the Property Owner agree as follows:

1. Park Development and Obligations. Property Owner shall satisfy its urban park development requirements and obligations for The Ridge at Lorson Ranch Filing No. 2 through the installation of urban park improvements on Tract E of The Ridge at Lorson Ranch Filing No. 2. The County further recognizes that this Park located in The Ridge at Lorson Ranch Filing No. 2 will be conveyed to the District for the purpose of providing recreational opportunities and maintenance of the urban park improvements. By execution and recordation of this Agreement, the Property is hereby burdened and encumbered by this Agreement.

- a. From and after the date of recordation of the subdivision plat for The Ridge at Lorson Ranch Filing No. 2, the Property Owner, through cooperation with the District, shall install or cause to be installed certain urban park improvements within the designated tract.
- b. The value of the contribution of Property Owner towards the improvements installed is equal to or greater than \$133,110. The contribution toward improvements provided under this Agreement is in addition to any other Urban Park Fee Credits granted for the same improvements.
- c. The Property Owner, in coordination with District, has provided a site plan and a design and construction cost estimate for the urban park improvements to the County for review and approval prior to the recording of the Final Plat for The Ridge at Lorson Ranch Filing 2.
- d. County staff will conduct an inspection of the site to finalize the conditions of this Parks Lands Agreement. The improvements shall be fully completed within two years of the execution of this Agreement. If not completed within two years, the Urban Park Fees in the amount of \$133,110 will be immediately paid to the County by Property Owner. If the above-mentioned conditions are not satisfied with the two-year period, the County will not consider future applications within the Property until such the improvements have been completed or fees have been paid.
- e. The urban park improvements will be governed by the Rules and Regulations of the District, with the understanding that the urban park improvements will remain open for public use in perpetuity. The use of the urban park will be consistent with the zoning of the property as identified in the approved Lorson Ranch East PUD Development Plan.

2. Maintenance. Unless otherwise mutually agreed by the Property Owner and the County, the urban park improvements will be maintained as shown on the approved site plan provided pursuant to paragraph 1.c. above in perpetuity by the District for the benefit of the public.

3. Installation. The Property Owner, at no cost to the County, shall be responsible to coordinate with the District for the installation of all park improvements pursuant to this Agreement. Any and all park improvements are subject to review and acceptance by the County. All improvements shall be installed in compliance with all applicable County regulations, resolutions, and standards.

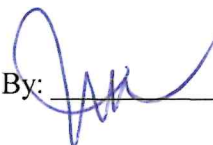
4. Successors and Assigns. This Agreement is binding on and inures to the benefit of the heirs, successors, and assigns of the Parties hereto, including any successive owners or developers of the Property.

IN WITNESS of the foregoing provisions, the Parties have executed this Agreement as of the date first entered above.

BOARD OF COUNTY COMMISSIONERS
EL PASO COUNTY, COLORADO

LORSON, LLC

By: _____
Chair

By:  _____

ATTEST:

Clerk & Recorder


APPROVED AS TO FORM:




Steven Klaffky (Mar 28, 2023 14:54 MDT)

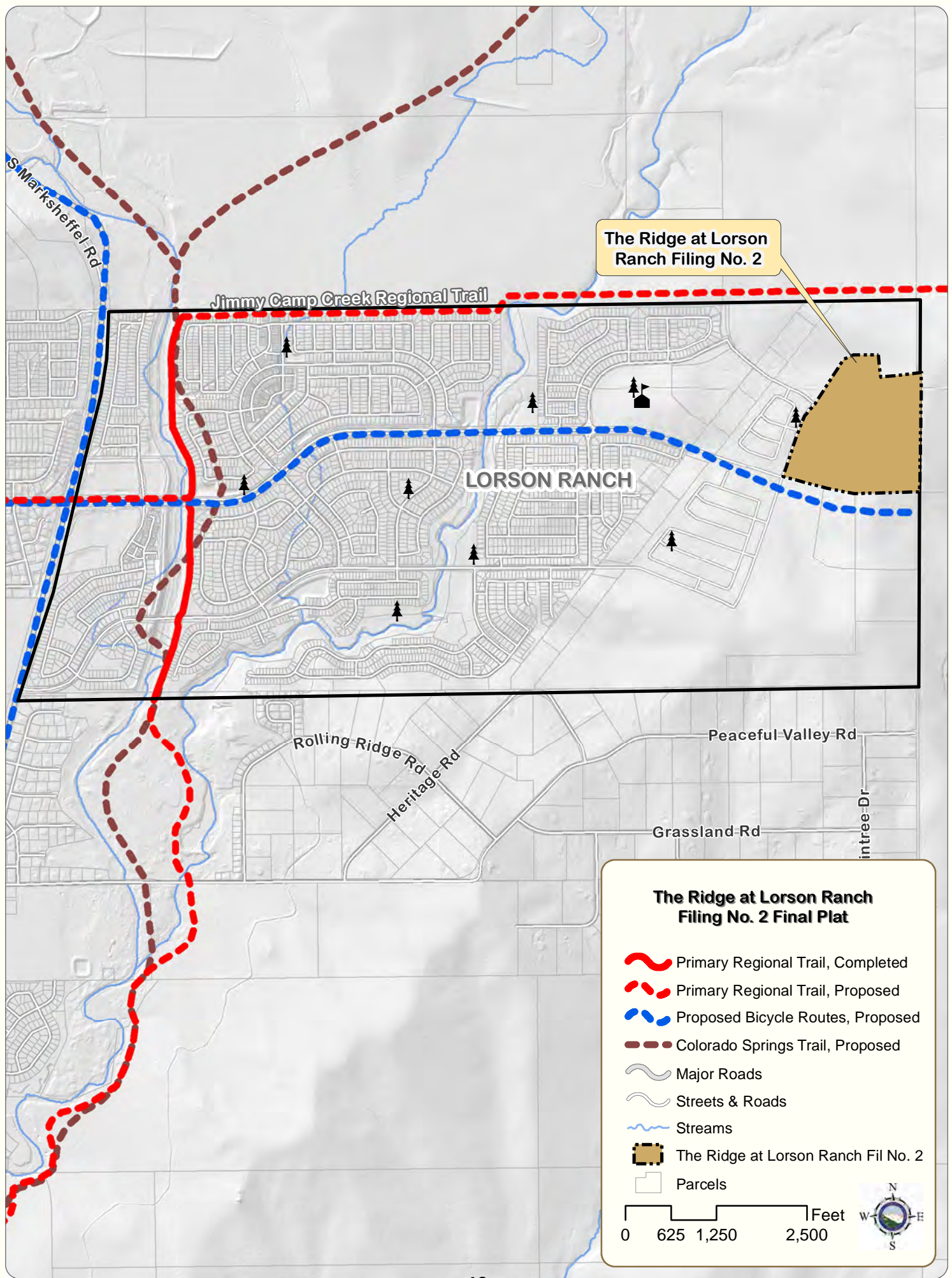
County Attorney's Office

LORSON RANCH METROPOLITAN DISTRICT:

 _____
President

ATTEST:

 _____
Secretary



**Proposed Splash Pad
Tract E 1.3 Acres**

Ridge Filing No. 3

Ridge Filing No. 2

Ridge Filing No. 1



The Ridge

PARK LANDS AGREEMENT FOR URBAN PARK AMENITIES

***SUBMITTED TO
EL PASO COUNTY***

URBAN PARK LAND AGREEMENT REQUEST **EL PASO COUNTY**

History of Lorson Ranch

Lorson Ranch represents the pride and quality of homeownership. This 1,400-acre community is located in southeast Colorado Springs at Marksheffel Road and Fontaine Boulevard.

Lorson Ranch is located at the epicenter of military operations: located 6 miles southwest of Schriever Air Force Base, 4 miles south of Peterson Air Force Base, 6 miles east of the Colorado Springs Airport and 5 miles east of Fort Carson Military Base.

In addition to the approximate 4,000 homes constructed, Lorson Ranch offers 169 acres of open space to include parks and trails. Total build out of Lorson Ranch will be approximately 4,500+ homes. Most of the residents are young with children. Within the past few years, Lorson Ranch has constructed two miles of regional and local walking trails, nearly two and one-half miles of bicycle trails and has added several miles of sidewalks that are utilized for walking and jogging. There are several parks throughout Lorson Ranch. This project will provide an additional park within Lorson Ranch.

Project Need

The Lorson Ranch Master Plan identified multiple sites for potential future outdoor recreation facilities or amenities. Lorson, LLC (Property Owner) intends to construct a park in The Ridge at Lorson Ranch.

Project Goals

The long-term goal of Lorson, LLC is to provide a wide range of recreation facilities. The Lorson Ranch master plan indicates several proposed park spaces.

Proposed splash pad is age appropriate for all ages and is ADA accessible. It will feature a waterway fountain, canopy bucket that fills with water and assorted jets.

Population to be Served

There are approximately 2,000 homes within a 1/2-mile radius of the site. This park will welcome visitors from throughout Lorson Ranch and El Paso County.

Maintenance Responsibility Commitment

The Lorson Ranch Metropolitan District will be responsible for the maintenance of the park and funding is supplied by a mill levy collected from the residents of the subdivision. Maintenance will be accomplished through a contract by a private landscape maintenance company.

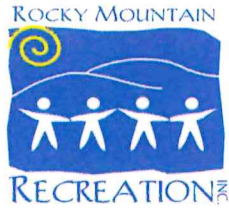
Lorson Ranch Park Timeline

Start Date: May, 2024

Attachments

- 1. Figure 1- Cost Estimate**
- 2. Figure 2- Proposed Site Plan, Equipment, Map**

Figure 1



ALL PURCHASE ORDERS, CONTRACTS, AND
CHECKS TO BE MADE OUT TO:
ROCKY MOUNTAIN RECREATION INC.
P.O. BOX 620411
LITTLETON, CO 80162
303-783-1452 800-636-0199

PROPOSAL

March 31, 2022
DATE

CONTACT: Chasity McMorrow
PHONE: 719.635.3200
EMAIL: CMcMorrow@LandhuisCo.com

Delano, MN

F.O.B.

FREIGHT

☒ Prepaid

☐ Collect

50% Down, Remaining due upon completion

1.5% Monthly Finance Charge Thereafter

TERMS (Subject to Credit Approval by RMR)

10-12 weeks for product; installation requires coordination

SHIPPING TIME


April 30, 2022

PROPOSAL GOOD UNTIL

SHIP TO: The Ride at Lorson Ranch
El Paso County, CO 80925

BILL TO: The Landhuis Company
212 N. Wahsatch Ave., Suite 301
Colorado Springs, CO 80903

We are pleased to submit this proposal to supply the following items:

QTY	ITEM NO.	DESCRIPTION	UNIT WT	UNIT PRICE	WEIGHT	EXTENDED AMT
		 1163426-01-01 AquaSmart E Water Play Features: 1 AQ100834 Canopy Bucket w/Acrylic \$12,962.25 \$ 12,962.25 2 AQ101154 Medium GeoMister \$2,808.75 \$ 5,617.50 1 AQ101165 WaterWay \$15,062.25 \$ 15,062.25 2 AQ101160 Arch Jet - SS \$666.75 \$ 1,333.50 2 Stream Jet - SS \$666.75 \$ 1,333.50 1 Stream Jet Triangle - SS - PVC \$2,798.25 \$ 2,798.25 Mechanical Package Components: 1 HydroLogix System \$17,667.00 \$ 20,230.35 1 On/Off Timer and Valve Box included Underground Plumbing Package included 1 Design & Construction Drawings \$2,510.00 \$ 2,510.00 Feature flow rate 58 GPM Total area 1,237 sq.ft. Wet area 750 sq.ft. Installation includes a medium broom finish concrete pad with 5' apron. Oval shape with 50' x 40' dimensions per				

Comments: Provided by others:
Municipal potable water - 2" supply pipe to be located within 10' of site.
Sanitary sewer to within 10' at 60" depth of site.

Removal of excavated spoils if offsite.

Engineered control points and elevatin bench mark within 30'

Stamped & sealed shop drawings are included in pricing above.

Owner/GC shall be responsible for locating and flagging all onsite water, gas, electrical, phone and communication lines not covered by the Utility Protection Agency. Any damage to unmarked items under ground shall not be the responsibility of Rocky Mountain Recreation. Rocky Mountain Recreation shall perform all normal trench excavation however any excavation requiring blasting, air tools, or pumping is not covered under this proposal unless clearly stated. All work shall be warranted for material defects and workmanship for the period of 1 year from completion.

ACCEPTED BY CUSTOMER _____ DATE _____

PRINT NAME _____

Leslie Amico _____ *3/31/22*

PROPOSED BY RMR REPRESENTATIVE _____ DATE _____

Leslie Amico _____

PRINT NAME _____

SUBTOTAL MATERIALS	\$61,847.60
INSTALLATION	\$78,307.20
FREIGHT	\$5,989.50
SALES TAX (5%)	\$3,351.28
TOTAL	\$149,495.58

Provided by others:

Municipal potable water - 2" supply pipe to be located within 10' of site. Water meter, shutoff valve, backflow preventer and pressure regulator valve by others.

Sanitary sewer to within 10' at 60" depth of site.

Removal of excavated spoils if offsite.

Engineered control points and elevatin bench mark within 30'

Stamped & sealed shop drawings are an additional \$2,510.00 and not included in pricing above.

Owner/GC shall be responsible for locating and flagging all onsite water, gas, electrical, phone and comunication lines not covered by the Utility Protection Agency. Any damage to unmarked items under ground shall not be the responsibility of Rocky Mountain Recreation. Rocky Mountain Recreation shall perform all normal trench excavation however any excavation requiring blasting, air tools, or pumping is not covered under this proposal unless clearly stated. All work shall be warranted for material defects and workmanship for the period of 1 year from completion.

Design & Construction Drawings including: All design and construction drawings for splash pad project construction to consist of construction of concrete pad, mechanical system, electrical and control systems, inbed spray fixtures / collector box installation details, water plays structure assembly / installation on concrete splash pad, equipment systems installation and hookups.

Splash Pad Design Notes:

1. Aquatix by Landscape Structures design services are based on ideal site locations and conditions.
2. Aquatix by Landscape Structures design services do not include soil corrections, demolition planning, site elevation plans, utility planning / design or relocation of utilities. (i.e. based on water, waste and power being available at designed area's of splash pad by others.)
3. All permits and costs of permits are not included in our splash pad design package.
4. Design package will be prepared based on Aquatix's interpretation of Local health code.
5. Any additional drawings associated with project outside of splash pad to be made by others. (sidewalks, landscaping, electrical)

Additional Clarifications:

- Estimate does not include any demolition work
- Estimate does not include permitting.
- City permitting and or health department submission and associated fee's are not included in this estimate.
- Estimate based on clear access to construction site. No costs have been added for restricted or limited access.
- Estimate does not include any demolition of existing structures.
- Estimate does not include any tree or stump removal that may be necessary for splash pad project.
- Estimate is based on good soil conditions (no soil corrections, dewatering or rock excavation).
- Estimate is based on splash pad area being to rough grade. No costs have been added to grade area for site drainage or extra excavation to level the area.
- Estimate is based on excavated materials to be stock piled on site for owner to spoil or haul.
- Domestic water supply with approved backflow preventer and pressure regulator by others. Water supply to be brought to splash pad area by others.
- Waste line brought to within 10'ft of splash pad area by others.
- Estimate does not include shade structures, site amenities, landscaping, lighting or fencing.
- Estimate does not include any surfacing of splash pad. Unless otherwise stated, a standard grey concrete - along with the stone, rebar, forming, and broom finishing of the concrete will be provided.
- A 25% restock fee plus all return freight charges will apply to all product returns.

NOTE: All parts are subject to inspection upon return. Parts returned damaged may not receive a full credit. For this reason, it is important that all returned parts are properly packaged to prevent damage while in transit.

Mechanical Components Additional Notes:

- HydroLogix: The activator is a non-electrical water delivery system. System to consist of activation bollard, distribution manifold and collection drain housed in a stainless steel body. An on/off timer, can be housed above or below ground, consisting of a 2" solenoid valve and on/off timer with programable hours of operation. All internal components and mechanisms to be either stainless steel or brass. Ideal water pressure for this system is 30psi-40psi which will deliver 60gpm water flow. The unit will have (6) 1" discharges that have gate valves for balancing flows to water events. Activation duration to be adjustable up to 90 seconds long.
- HydroLogix - Bollard with Solid Cover: The activator is a non-electrical water delivery system. System to consist of activation bollard, distribution manifold housed in a stainless steel body. An on/off timer, can be housed above or below ground, consisting of a 2" solenoid valve and on/off timer with programable hours of operation. All internal components and mechanisms to be either stainless steel or brass. Ideal water pressure for this system is 30psi-40psi which will deliver 60gpm water flow. The unit will have (6) 1" discharges that have gate valves for balancing flows to water events. Activation duration to be adjustable up to 90 seconds long.
- On/Off Timer and Valve Box: To consist of a battery operated on/off timer and a plastic burial valve box.
- Underground Plumbing Package: A pre-engineered plumbing system that consists of HPDE tubing, brass fittings and stainless steel crimp connectors. Package to include tube hold in place stakes and adjustable embed mounting stakes.

The Ride at Lorson Ranch

Splash Pad Design Proposal 3/28/2022

Presented by

Leslie Amico

Rocky Mountain Recreation

(303) 783-1452

leslie@rmrec.com



The Ride at Lorson Ranch

Design# 1163426-01-01 3/28/2022



The Ride at Lorson Ranch

Design# 1163426-01-01 3/28/2022



The Ride at Lorson Ranch

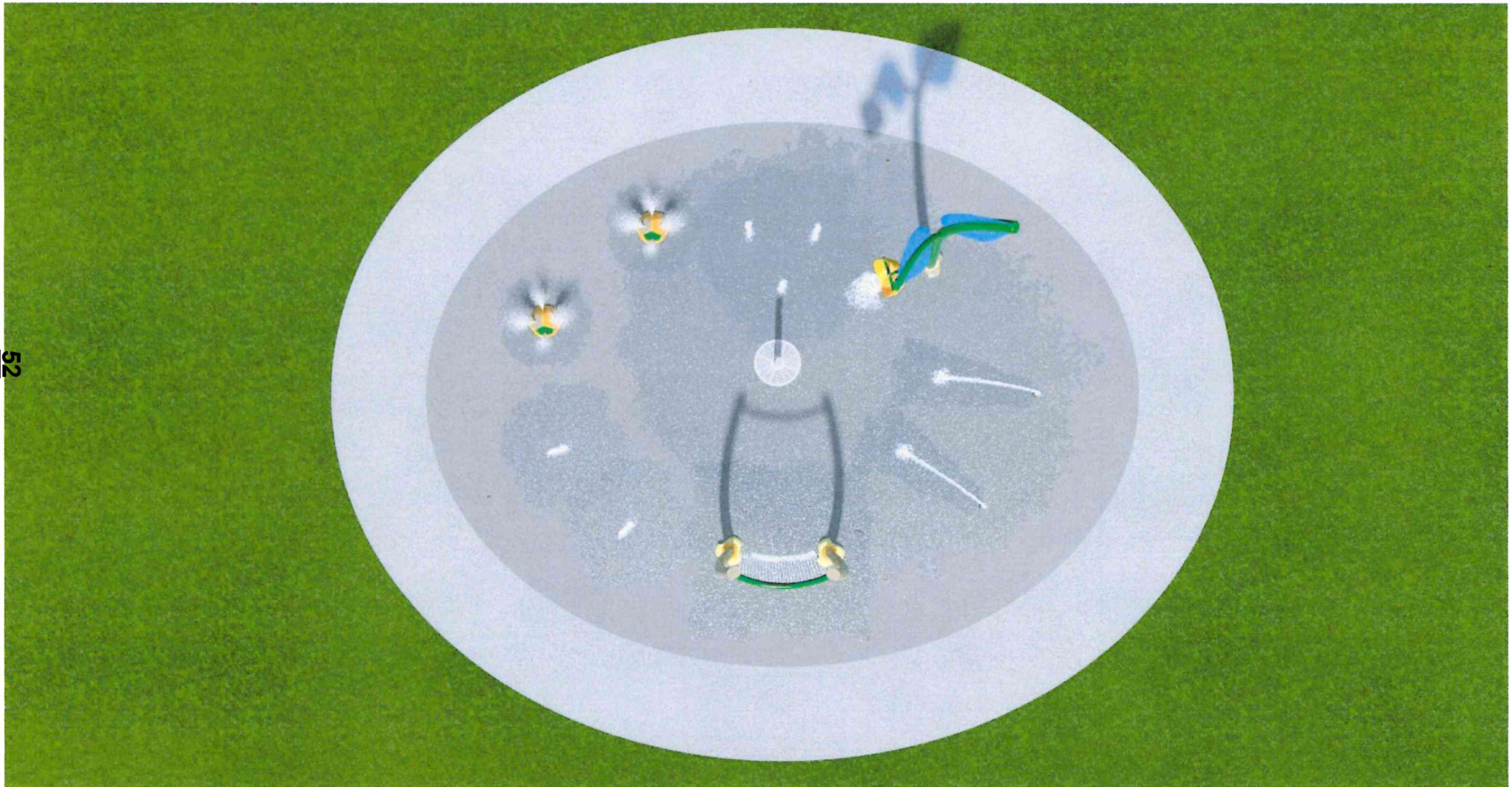
Design# 1163426-01-01 3/28/2022



The Ride at Lorson Ranch

Design# 1163426-01-01 3/28/2022

52



Design Details

*Surface finishes and/or site furnishings shown are conceptual and provided by others.

Proposed Color Palette

Paint Colors



Acrylic Colors



Project Details

Dimensions

50'-0" x 40'-0"

Total System Flow Rate

58 GPM

Color Approval

Customer Signature

Date

Colors shown are for representation purposes.
Consult with your Representative for actual color swatches for final color selection.



INTRODUCTION:

SPLASH PAD TO CONSIST OF A Ø30'-0" X 40'-0" OVAL CONCRETE PAD WITH A 5'-0" PERIMETER APRON AND THE FOLLOWING PLAY FEATURES:

MECHANICAL SYSTEM TO BE LOCATED IN THE CENTER OF THE PAD. THE HYDROLOGIX™ IS A NON-ELECTRICAL WATER DELIVERY SYSTEM. SYSTEM TO CONSIST OF ACTIVATION BOLLARD, DISTRIBUTION MANIFOLD AND COLLECTION DRAIN HOUSED IN A STAINLESS STEEL BODY. ALL INTERNAL COMPONENTS AND MECHANISMS TO BE EITHER STAINLESS STEEL OR BRASS. IDEAL WATER PRESSURE FOR THIS SYSTEM IS 30 PSI - 40PSI WHICH WILL BE MAINTAINED BY AN AIR SUPPLY. ACTIVATION WILL HAVE (6) 1" DISCHARGES THAT HAVE GATE VALVES. FOR BALANCING FLOWS TO THE WATER ELEMENTS, ACTIVATION DURATION WILL BE ADJUSTABLE UP TO 90 SECONDS LONG.

REQUIRED UTILITIES:

I. DOMESTIC WATER REQUIREMENTS:

- 2". DOMESTIC WATER SUPPLY WITH AN APPROVED BACKFLOW PREVENTER AND PRESSURE REGULATOR REGULATED TO 30 PSI TO 40PSI IN ACCORDANCE WITH LOCAL AND STATE CODES (VERIFY LINE SIZE W/ MUNICIPALITY PRIOR TO CONSTRUCTION)

2. DRAIN.

2. DRAIN
4" WASTE LINE PER LOCAL CODES.

SPLASH PAD DRAWING LIST:

- | | |
|-----|---|
| 1: | GENERAL INFORMATION |
| 2: | SITE PLAN |
| 3: | CONCRETE PLAN |
| 4: | CONCRETE SECTION AND DETAILS |
| 5: | PIPING AND ELECTRICAL PLAN |
| 6: | MECHANICAL DETAIL |
| 7: | HYDROLOGIX™ INSTALLATION DETAILS |
| 8: | GROUND SPRAY WITH EYEBALL INSERT
INSTALLATION DETAILS |
| 9: | GROUND SPRAY WITH EYEBALL INSERT
MANIFOLD INSTALLATION |
| 10: | ABOVE GROUND STRUCTURE INSTALLATION
DETAILS |
| 11: | MEDIUM GEOMISTER DETAILS |
| 12: | MEDIUM BUCKET DETAILS |
| 13: | ACRYLIC MOUNTING INSTALLATION |

BILL OF MATERIALS:

1. (9) WATERPLAY FEATURES (SEE GENERAL SPLASH PAD DATA)
2. MECHANICAL SYSTEM COMPONENTS:
- 2a) (1) HYDROLOGIX™ THE HYDROLOGIX™ SYSTEM IS A NON-ELECTRICAL WATER DELIVERY SYSTEM. SYSTEM TO BE INSTALLED IN THE CENTER OF THE PLAY MANIFOLD AND COLLECTION DRAIN HOUSED IN A STAINLESS STEEL BODY. ALL INTERNAL COMPONENTS AND MECHANISMS TO BE EITHER STAINLESS STEEL OR BRASS. IDEAL WATER PRESSURE FOR THIS SYSTEM IS 30 PSI .40PSI WHICH WILL DELIVER 60GPM WATER FLOW. THE ACTIVATOR WILL HAVE (8) 1/2 DISCHARGE HOLES. THE ACTIVATOR HAS FOR BALANCING FLOWS TO THE WATER ELEMENTS, ACTIVATION DURATION WILL BE ADJUSTABLE UP TO 90 SECONDS LONG.

WATER QUALITY GUIDELINES

MUNICIPAL POTABLE WATER - 2" SUPPLY PIPE

CONCRETE NOTES:

CAST IN PLACE CONCRETE NOTES:

1. DESIGN CODE: ACI 318 LATEST EDITION.
2. VERIFY LOCAL/STATE CODES FOR TYPE, THICKNESS, & REINFORCEMENT REQUIREMENTS FOR CONCRETE SLAB.
3. PROVIDE COMPRESSION STRUTS AT 180 DAYS.
4. TYPE STRENGTH LOCATION
5. $F_c = 4,000 \text{ PSI}$ SPLASH PAD & APRON
6. REINFORCING STEEL.
7. CONCRETE REINFORCEMENT TO BE #4 REBAR @ 12" O.C. EACH WAY OR EQUIVALENT WELDED WIRE MESH (W6 @ 4"x4" SPACING OR W10 @ 6"x6" SPACING)
8. DEFLECT 2 BARS @ 12" O.C. EACH WAY
9. PCE ALL ITEMS PER APPROVED SHOP DWGS. AND APPROVED CONCRETE MIX DESIGNS.
6. PROVIDE CONCRETE COVER PER ACI 318.
7. FINISH CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.

GENERAL CAST IN PLACE CONCRETE NOTES

1. DESIGN CODES ACI 318 AND "ACI DETAILING MANUAL", LATEST EDITION.
2. PROVIDE ALL ACCESSORIES AND SUPPORTS NECESSARY TO SECURE REINFORCING STEEL PER "ACI DETAILING MANUAL" FOR OTHER METHODS OR MATERIALS WILL BE ACCEPTABLE.
3. PROVIDE PLASTIC CHAIRS AND BAR SUPPORTS IN ALL AREAS OF EXPOSED CONCRETE.
4. PROVIDE CONCRETE PROTECTION FOR ALL REINFORCEMENT AS PER ACI 318, SECTION 7.7 REQUIREMENTS FOR CAST IN PLACE CONCRETE.
5. LUGS/CLIPS AT ALL REINFORCING IN ALL CAST IN PLACE CONCRETE SHALL BE AS FOLLOW, U.N.O.
#4 BAR=24"
6. ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
7. CONCRETE REINFORCING GRID TO BE INSTALLED AND INSPECTED AS REQUIRED BY THE LOCAL JURISDICTION.

ELECTRICAL NOTES:

1. BONDING
 1a) ALL METALLIC PIPING, STRUCTURAL REINFORCEMENT AND EMBEDS REQUIRE BONDING/GROUNDING PER NEC AND LOCAL CODES.
 1b) ALL REQUIRED GROUNDING/BONDING TO BE APPROVED BY LOCAL JURISDICTION INSPECTOR PRIOR TO PLACING CONCRETE.

START-UP CHECK LIST

1. INSPECT ALL PIPING AND PIPING ACCESSORIES FOR LEAKS ONCE PIPES ARE FILLED WITH WATER.
2. PRIOR TO OPERATION, FLUSH ALL LINES OF ACCUMULATED DEBRIS.
3. TEST ALL PLUMBING LINES AND FITTINGS FOR LEAKS. REPAIR IF NECESSARY AND FLUSH CLEAN.
4. ALL CUSTOM WATER DEVICES, ETC. MUST BE PROPERLY INSTALLED AND ADJUSTED FOR PROPER PERFORMANCE.
5. VERIFY PROPER INCOMING WATER PRESSURE BEFORE START-UP.

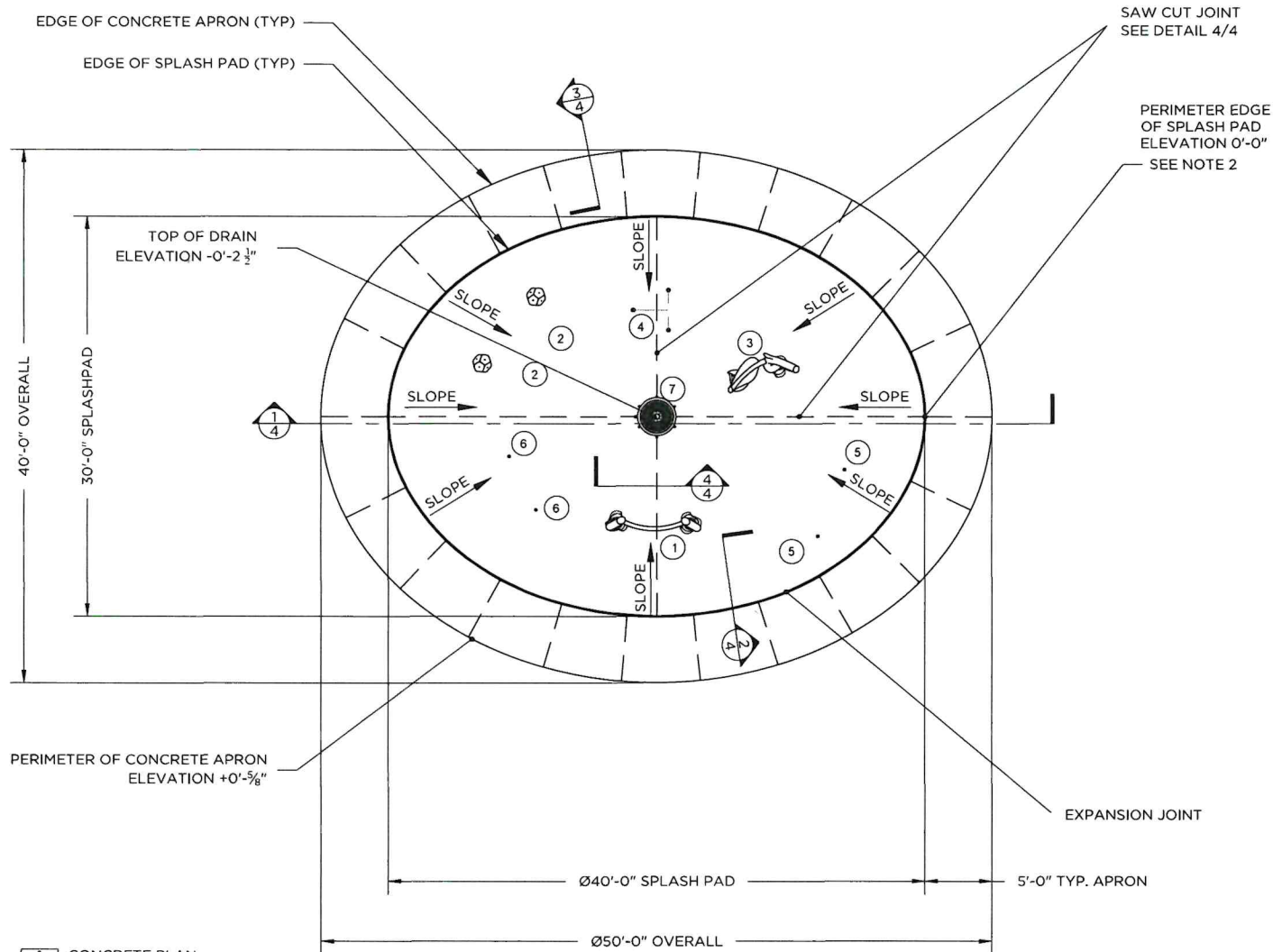


1101 McKinley Parkway
Delano MN 55328
Ph# - 952-345-6444



- NOTE:
1. ALL CONCRETE SLOPES TO BE $\frac{1}{4}$ "/FT. MIN.
2. SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY OTHERS. AQUATIX ELEVATION REFERENCE IS 0'-0" FOR TOP PERIMETER EDGE OF THE SPLASH PAD. ALL OTHER NOTED ELEVATIONS ARE REFERENCED FROM THAT POINT.
3. SURFACE MOUNTED STRUCTURES MAY REQUIRE A FLAT/LEVEL SURFACE FOR PROPER INSTALLATION. SEE INDIVIDUAL STRUCTURE MOUNTING INSTALLATION INSTRUCTIONS.
4. ——— INDICATES SAW CUT JOINT
5. ——— INDICATES EXPANSION JOINT
6. THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO THE DRAINAGE BOX. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THIS DRAIN PATTERN.
7. IT IS RECOMMENDED THAT THE SURROUNDING HARDCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK.
8. ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
9. ARRANGE WATER PLAY STRUCTURES AND JET NOT TO INTERFERE WITH EXPANSION AND SAW CUT JOINTS
10. ——— INDICATES SPLASH ZONE.
11. SPLASH ZONES ARE APPROXIMATE. ACTUAL SPLASH ZONE MAY VARY BASED ON VARIOUS ENVIRONMENTAL FACTORS. FLOW RATE, SLOPE OF THE SPLASH PAD, SUBMERGENCE DEPTH AND WIND.

SITE LAYOUT ASSUMES NO STRONG PREVAILING WINDS FROM ANY SPECIFIC DIRECTION. PLEASE ADVISE AQUATIX AS SOON AS POSSIBLE IF WIND CONDITIONS MAY EFFECT PRODUCT SPRAY ZONES.



NOTE

1. ALL CONCRETE SLOPES TO BE 1/4" FT MIN.
2. SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY OTHERS. AQUATIX ELEVATION REFERENCE IS 0'-0" FOR TOP PERIMETER EDGE OF THE SPLASH PAD. ALL OTHER NOTED ELEVATIONS ARE REFERENCED FROM THAT POINT.
3. SURFACE MOUNTED STRUCTURES MAY REQUIRE A FLAT/LEVEL SURFACE FOR PROPER INSTALLATION. SEE INDIVIDUAL STRUCTURE MOUNTING INSTALLATION INSTRUCTIONS.
4. ——— INDICATES SAW CUT JOINT
5. ——— INDICATES EXPANSION JOINT
6. THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO THE DRAINAGE BOX. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THIS DRAIN PATTERN.
7. IT IS RECOMMENDED THAT THE SURROUNDING HARDSCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK. ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
9. ARRANGE WATER PLAY STRUCTURES AND JET NOT TO INTERFERE WITH EXPANSION AND SAW CUT JOINTS
10. ——— INDICATES SPLASH ZONE.
11. SPLASH ZONES ARE APPROXIMATE. ACTUAL SPLASH ZONE MAY VARY BASED ON VARIOUS ENVIRONMENTAL CONDITIONS, FLOW RATES, SLOPE OF THE SPLASH PAD, SUBMERGENCE DEPTH AND WIND.

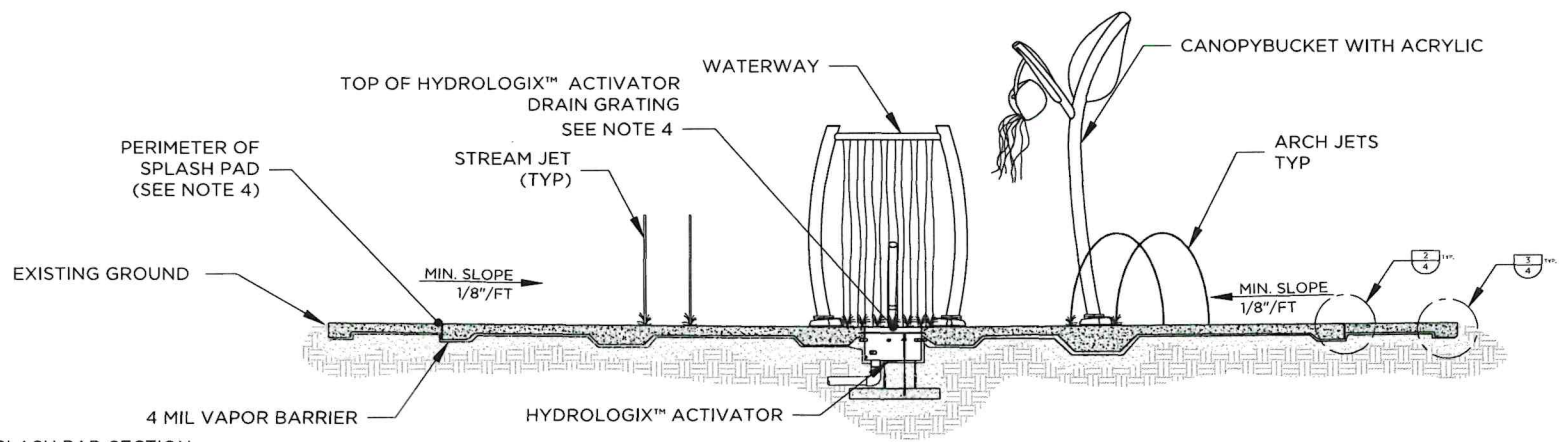
SEE PAGE 4 FOR
SECTION DETAILS

IMPORTANT: SEE NOTE
#6 CONCERNING
SPLASH PAD SLOPE

1
3 CONCRETE PLAN
1/8" = 1'-0"

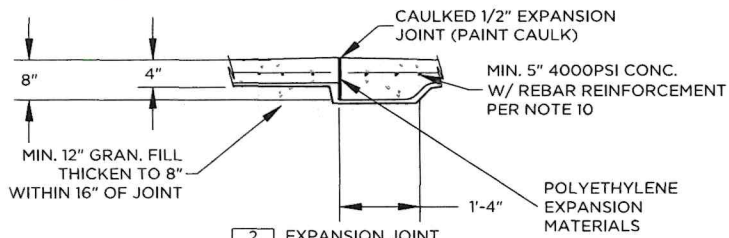
- NOTE:
1. CONCRETE TO BE THICKENED AT ALL PRODUCT INSTALLATION LOCATIONS (BOTH EMBED AND ABOVE GROUND STRUCTURES). REFER TO INSTALLATION DRAWINGS FOR EACH PRODUCT.
 2. ALL CONCRETE SLOPES TO BE 1/8"/FT MIN.
 3. SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY OTHERS. AQUATIX ELEVATION REFERENCE IS 0.00 FOR TOP EDGE OF SPLASH PAD.
 4. THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO COLLECTOR BOX. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THE DRAIN PATTERN.
 5. ALL SPLASH PAD WATER IS INTENDED TO REMAIN WITHIN DESIGNATED SPLASH PAD DECK. UNDER NO CIRCUMSTANCES SHOULD SLOPE OF SPLASH PAD OR SLOPE OF SURROUNDING AREA ALLOW WATER TO DRAIN OFF PAD.

- NOTE: (CONTINUED)
6. IT IS RECOMMENDED THAT THE SURROUNDING HARDSCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK
 7. ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
 8. COORDINATE EXACT LOCATION OF SAW CUTS AND EXPANSION JOINTS WITH PLAY EQUIPMENT LOCATIONS.
 9. VERIFY LOCAL/STATE CODES FOR TYPE, THICKNESS, & REINFORCEMENT REQUIREMENTS FOR CONCRETE SLAB.
 10. CONCRETE REINFORCEMENT TO BE #4 REBAR @ 12" O.C. EACH WAY OR EQUIVALENT WELDED WIRE MESH (W6 ON 4"x4" SPACING OR W10 ON 6"x6" SPACING)

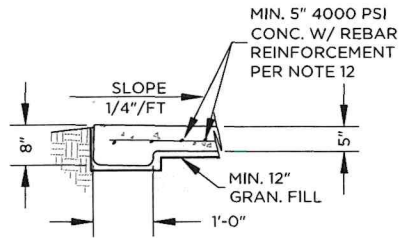


1
4
SPLASH PAD SECTION
3/16" = 1'-0"

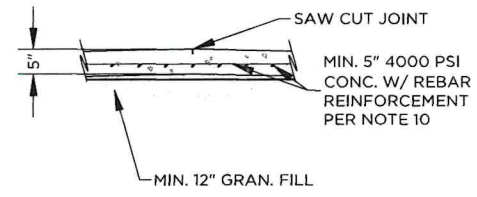
NOTE:
-IF THERE IS A CONCERN WITH SOIL MOVEMENT, IT IS RECOMMENDED THAT THE APRON IS TO BE DOWLED TO THE SPLASH PAD AS SHOWN BELOW



2
4
EXPANSION JOINT
1/2" = 1'-0"



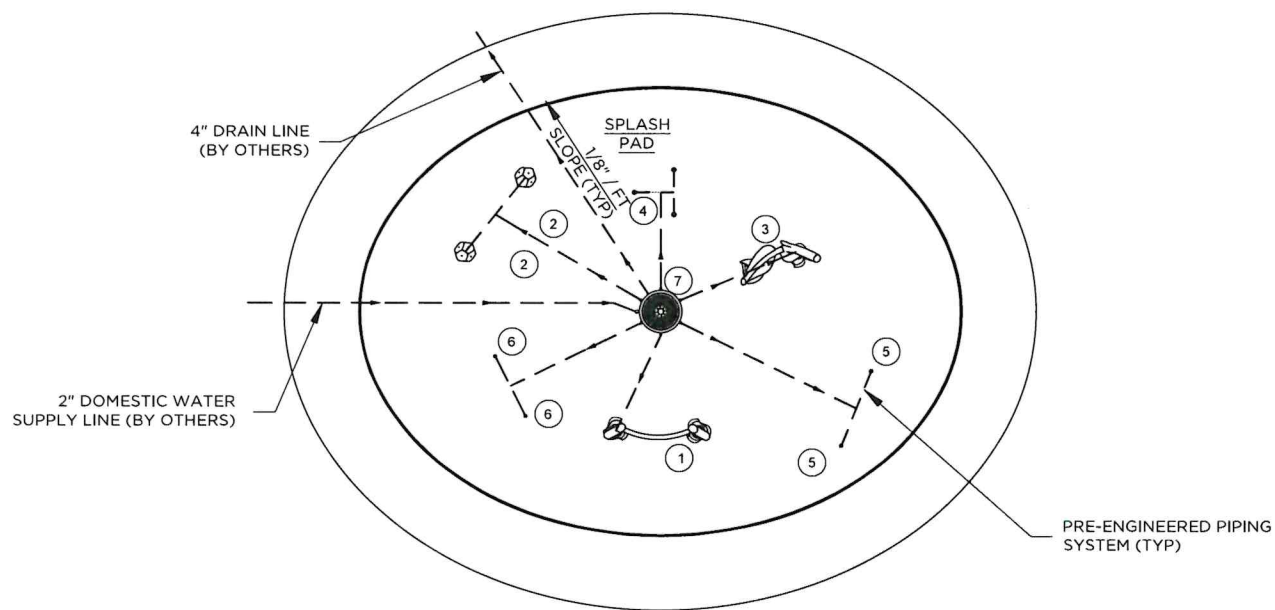
3
4
EDGE DETAIL
1/2" = 1'-0"



4
4
SAW CUT JOINT
1/2" = 1'-0"

DATE	
NO. 1	
BY: [Signature]	
CHECKED: [Signature]	
DATE: 8/11/2020	
PROJECT: AQUASMART™ PACKAGE E	
SPLASH PAD	
SECTION: CONCRETE	
SECTIONS AND DETAILS	
4	
OF 13	




aquatix
by landscape structures

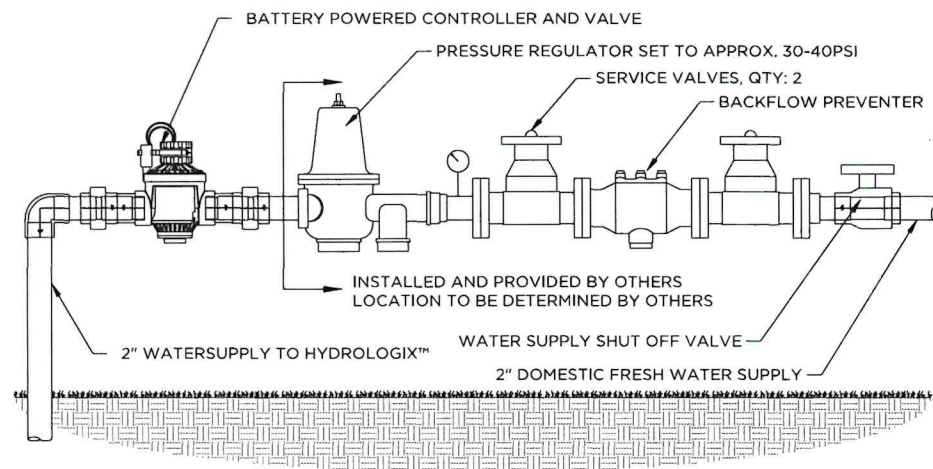


NO	PRODUCT	QTY	GPM	LINE SIZE
1	WATERWAY	1	10	1"
2	GEOMETER MEDIUM	2	4 EA	1 1/2"
3	CANOPYBUCKET W/ ACRYLIC	1	5	1"
4	STREAM JET TRIANGLE	1	15	1"
5	ARCH JET	2	5 EA	1" EA
6	STREAM JET	2	5 EA	1" EA
7	HYDROLOGIX™	1	—	—

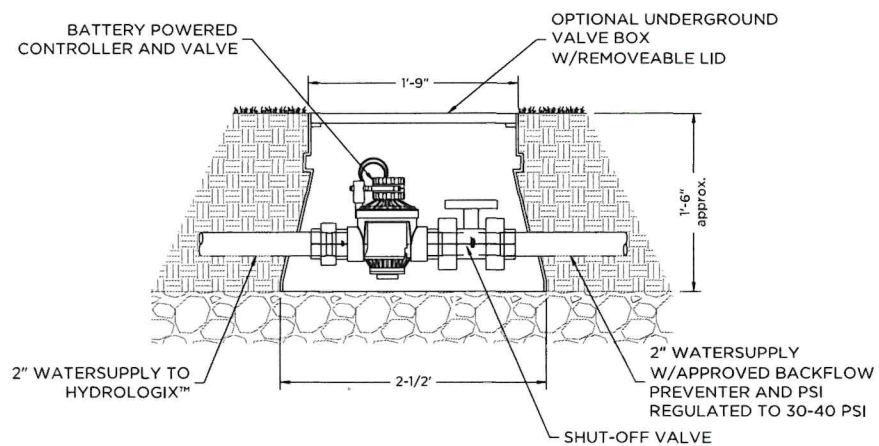
NOTE

1. ALL SUPPLY AND DRAIN LINES TO SLOPE $\frac{1}{4}$ "/FT AWAY FROM SPLASH PAD.
2. DRAIN LINE VELOCITY NOT TO EXCEED 3.0 FT/SEC.
3. REFER TO SPEC SHEET AND INSTALLATION DRAWING FOR EACH PRODUCT.
4. ALL LINES FROM PIPE MANIFOLDS TO FEATURES SHOULD NOT BE CROSSED.
5. ANY REQUIRED BACKFLOW DEVICE OR WATER METER ON THE CITY WATER MAIN SHALL BE PROVIDED BY OTHERS.
6. EXACT ROUTING SHALL BE DETERMINED BY INSTALLING CONTRACTOR.
7. INTERIOR FRESH WATER SUPPLY TO BE PROVIDED WITH AN APPROVED REGULATOR SET TO 30-40PSI IN ACCORDANCE WITH LOCAL AND STATE CODES.

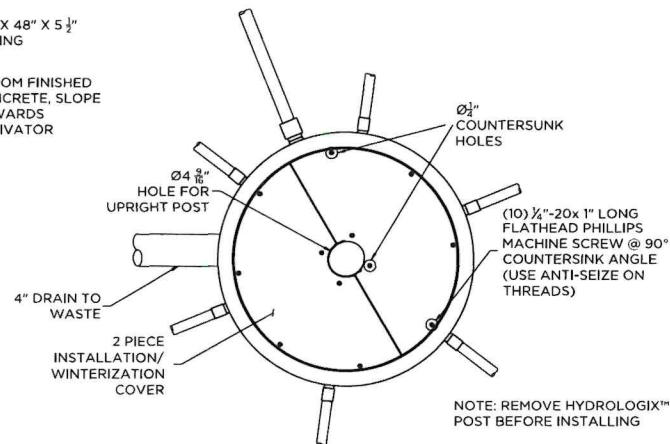
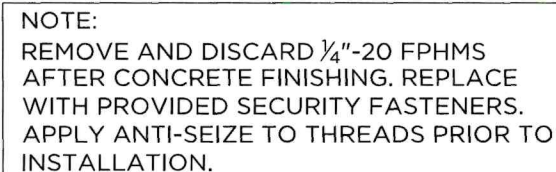
LEGEND	
---	SUPPLY LINE
- - -	DRAIN LINE
- · - ·	SUCTION LINE
—	ELECTRICAL CONDUIT
	MANUAL VALVE
	FLOW DIRECTION
	ACTUATED VALVE



1 WATER SERVICE DETAIL
6 1/2" = 1'-0"



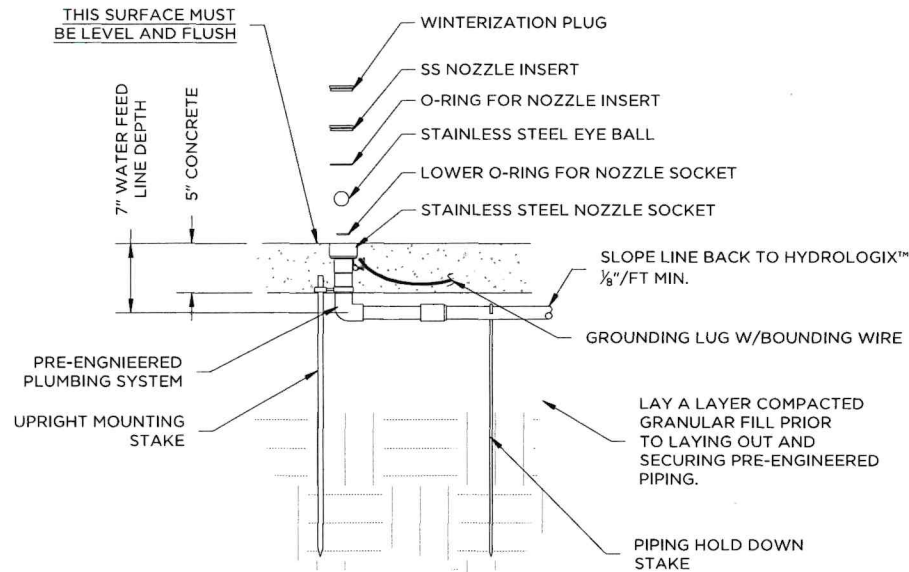
2 IN GROUND BATTERY POWERED CONTROLLER AND VALVE OPTION
6 $1/2" = 1'-0"$


$$3/4'' = 1'-0''$$


3/4" = 1'-0"

NOTES:

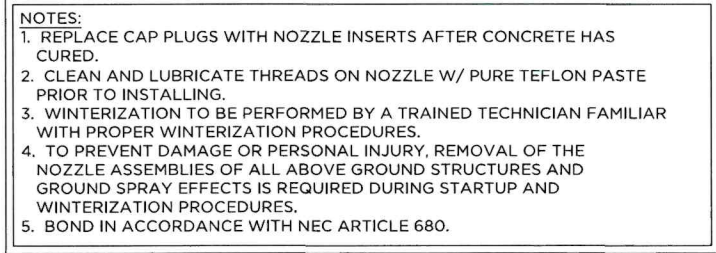
1. REPLACE CAP PLUGS WITH NOZZLE INSERTS AFTER CONCRETE HAS CURED.
2. CLEAN AND LUBRICATE THREADS ON NOZZLE W/ PURE TEFLON PASTE PRIOR TO INSTALLING.
3. WINTERIZATION TO BE PERFORMED BY A TRAINED TECHNICIAN FAMILIAR WITH PROPER WINTERIZATION PROCEDURES.
4. TO PREVENT DAMAGE OR PERSONAL INJURY, REMOVAL OF THE NOZZLE ASSEMBLIES OF ALL ABOVE GROUND STRUCTURES AND GROUND SPRAY EFFECTS IS REQUIRED DURING STARTUP AND WINTERIZATION PROCEDURES.
5. BOND IN ACCORDANCE WITH NEC ARTICLE 680.

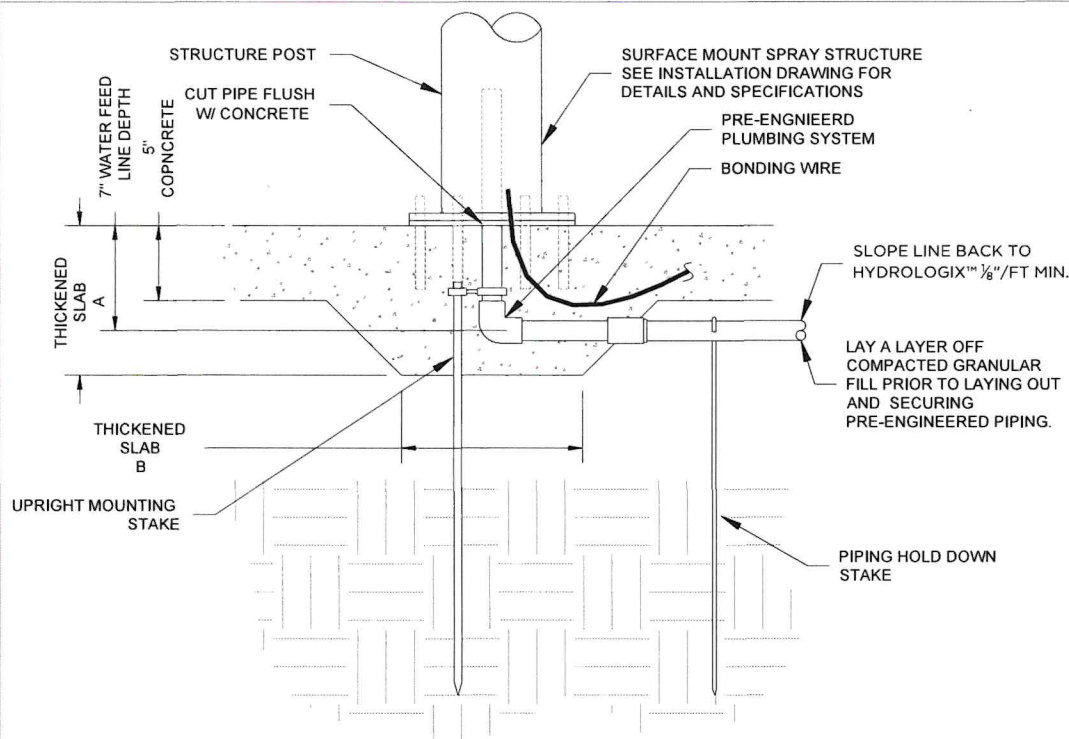


1
8

GROUND SPRAY WITH EYEBALL NOZZLE INSERT DETAIL

3/4" = 1'-0"



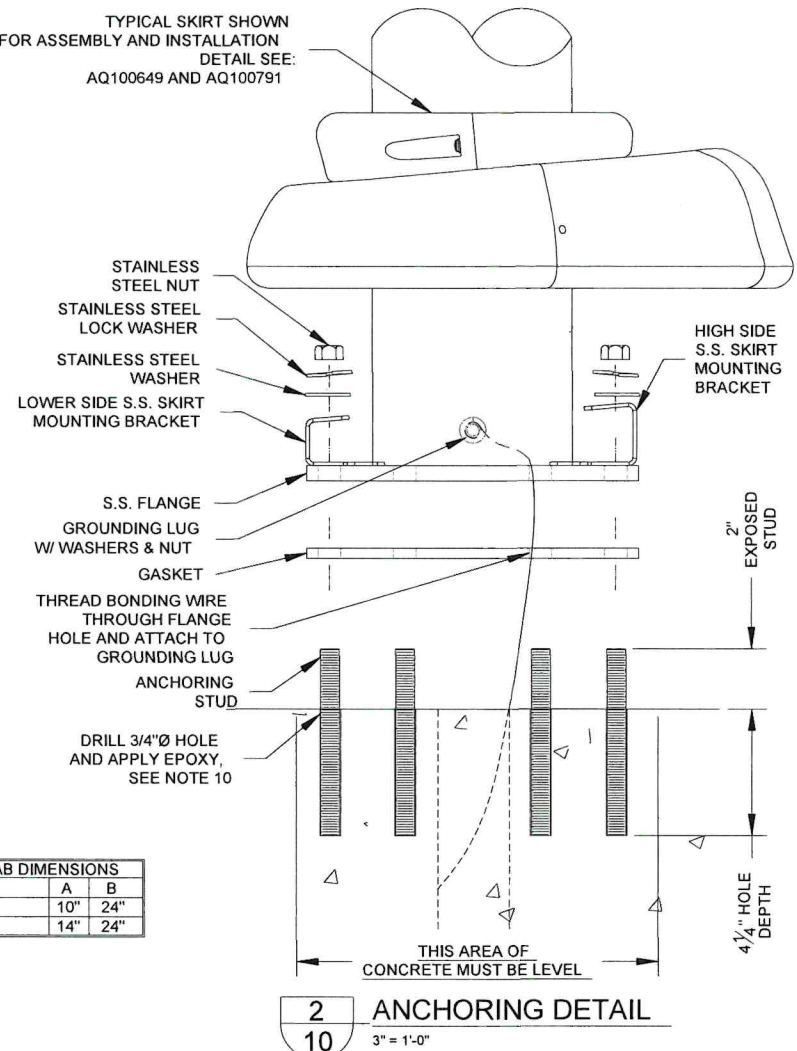


1
10 ABOVE GROUND STRUCTURE DETAIL
1-1/2" = 1'-0"

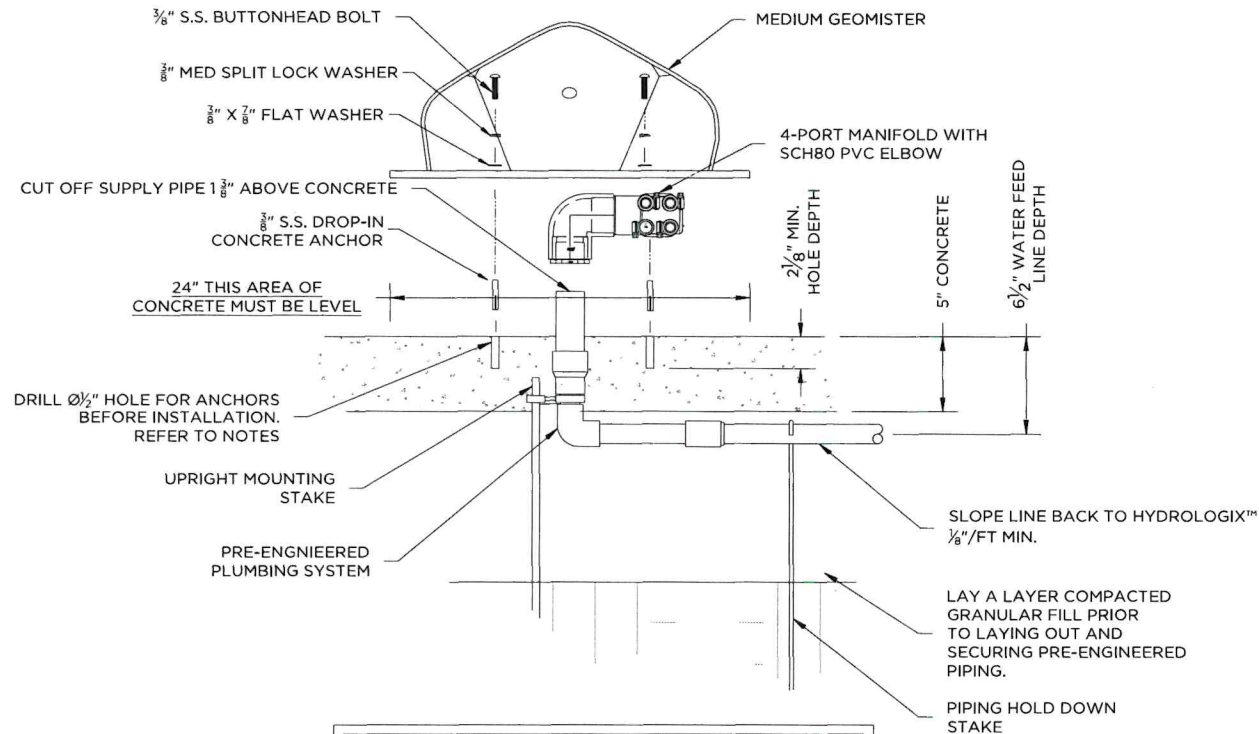
NOTES:

1. THICKEN CONCRETE SLAB UNDER STRUCTURE.
2. CONCRETE WILL NEED TO BE CURED A MINIMUM OF 7 DAYS BEFORE INSTALLING STRUCTURE.
3. CONCRETE MOUNTING SURFACE FOR STRUCTURE INSTALLATION NEEDS TO BE LEVEL AND FLAT.
4. AFTER MARKING HOLE LOCATIONS FOR ANCHOR STUDS, REMOVE STRUCTURE BEFORE DRILLING AND INSTALLING ANCHOR STUDS, AND VACUUM OUT HOLES TO REMOVE DEBRIS.
5. REFER TO MANUFACTURER'S INSTRUCTIONS FOR EPOXY ANCHOR INSTALLATION AND CURING TIMES.
6. USE 'ANTI-SEIZE LUBRICANT' ON ALL STAINLESS STEEL THREADED FASTENERS.
7. USE LOC-TITE ONLY WHEN/WHERE SPECIFIED.
8. TORQUE SPECS FOR 5/8-11 UNC MOUNTING BOLTS: 65 FT.LB.
9. BOND IN ACCORDANCE WITH NEC ARTICLE 680.
10. TO PREVENT DAMAGE OR PERSONAL INJURY, REMOVAL OF THE NOZZLE ASSEMBLIES OF ALL ABOVE GROUND STRUCTURES AND GROUND SPRAY EFFECTS IS REQUIRED DURING START-UP AND WINTERIZATION PROCEDURES.

TYPICAL SKIRT SHOWN
FOR ASSEMBLY AND INSTALLATION
DETAIL SEE:
AQ100649 AND AQ100791



THICKENED SLAB DIMENSIONS		
PRODUCT	A	B
WATERWAY	10"	24"
BUCKET DUO	14"	24"



NOTES:

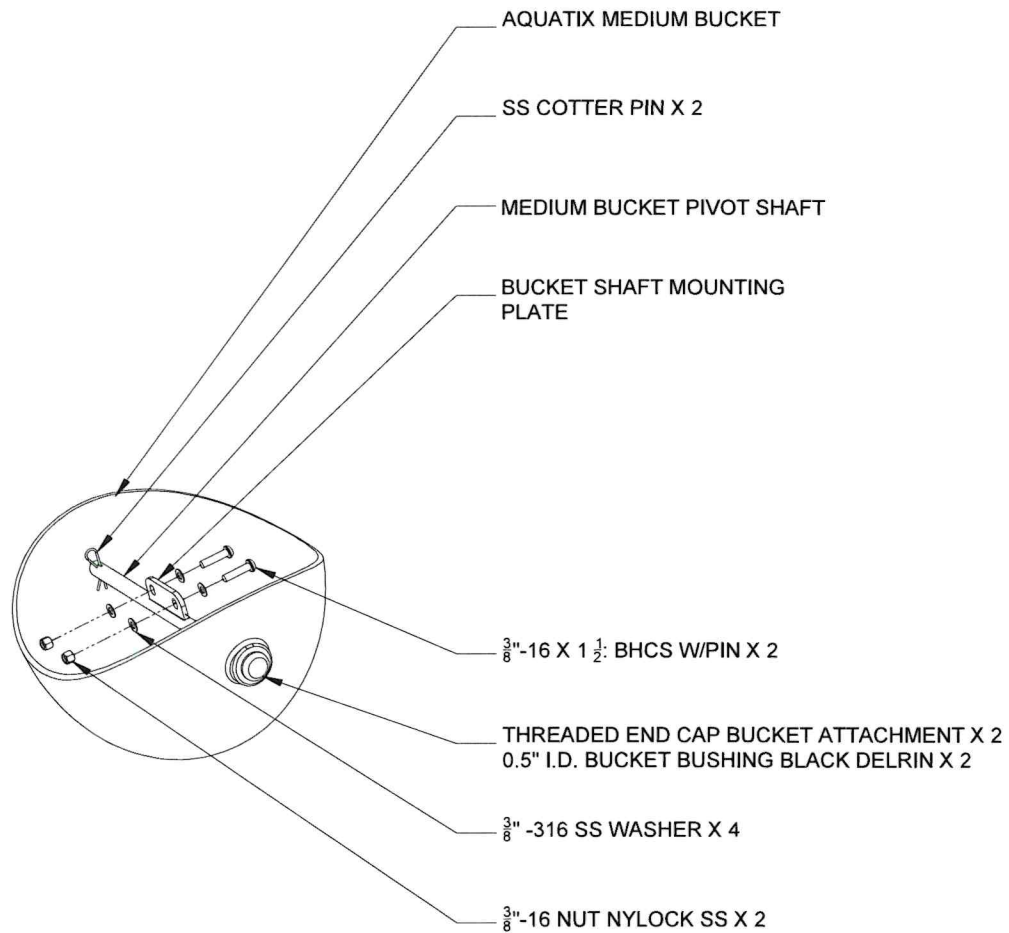
1. CONCRETE WILL NEED TO BE CURED A MINIMUM OF 7 DAYS BEFORE INSTALLING STRUCTURE.
2. CONCRETE MOUNTING SURFACE FOR STRUCTURE INSTALLATION NEEDS TO BE LEVEL AND FLAT.
3. SUPPLY LINE SIZE TO BE BASED ON DESIGNED FLOW RATE FOR STRUCTURE. SEE STRUCTURE INSTALLATION DRAWING FOR LINE SIZE.
4. AFTER MARKING HOLE LOCATIONS FOR ANCHOR STUDS, REMOVE STRUCTURE BEFORE DRILLING AND VACUUM OUT HOLES TO REMOVE DEBRIS.
5. REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF DROP-IN ANCHORS.
6. USE 'ANTI-SEIZE LUBRICANT' ON ALL STAINLESS STEEL THREADED FASTENERS.
7. USE LOC-TITE ONLY WHEN/WHERE SPECIFIED.
8. TORQUE SPECS FOR 1/2-13 UNC MOUNTING BOLTS: 65 FT.LB.
9. BOND IN ACCORDANCE WITH NEC ARTICLE 680.
10. TO PREVENT DAMAGE OR PERSONAL INJURY, REMOVAL OF THE NOZZLE ASSEMBLIES OF ALL ABOVE GROUND STRUCTURES AND GROUND SPRAY EFFECTS IS REQUIRED DURING START-UP AND WINTERIZATION PROCEDURES.

NO.	REVISION	DATE



PROJECT: AQUASMART™ PACKAGE E
SPLASH PAD
LOCATION:

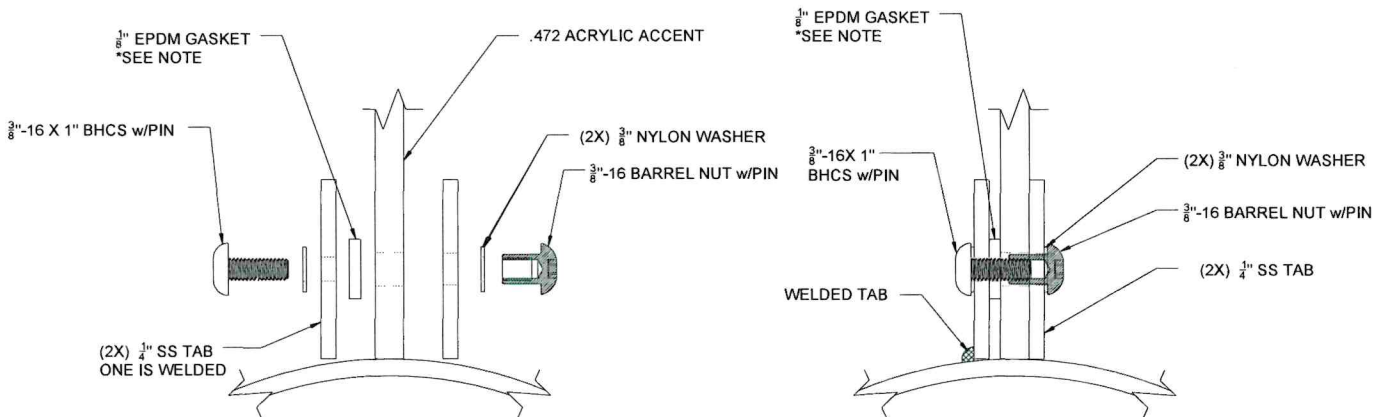
SCALE	DRAWN	CHECKED	ENGINEER	DATE
SEE VIEWS	A.S.			8/27/2020



NOTE: ATTACH THE BUCKET WATER FEED ARM TO BUCKET AT THE BUCKET SHAFT MOUNTING PLATE

- IMPORTANT: VISUALLY INSPECT THE EQUIPMENT ON A DAILY BASIS FOR:**
1. SIGNS OF VANDALISM/WEAR/DAMAGE/LOOSE OR MISSING COMPONENTS THAT WOULD MAKE THE EQUIPMENT UNSAFE.
 2. LOOSE OR MISSING FASTENERS (NUTS, BOLTS, CLAMPS, CABLES, SCREWS, ETC).
 3. EQUIPMENT DAMAGE (IMPROPERLY SECURED, WORN, MISSING, OR DAMAGED STRUCTURES, SUPPORT ARMS, BRACKETS, PROTECTIVE COVERS, BASE SKIRTS, HANDLES, NOZZLES ETC).
 4. EQUIPMENT MALFUNCTION (LOOSE, MISSING, WORN, DAMAGED EQUIPMENT COMPONENTS).
 5. IF COMPONENT REPLACEMENT IS REQUIRED, REPLACE WITH NEW COMPONENT OF SAME TYPE/DESIGN. DO NOT REUSE COMPONENT.
 6. IT IS NOT RECOMMENDED TO RE-USE FLANGE MOUNTING GASKETS.
 7. PROPERLY BALANCED AND SANITIZED WATER SUPPLY.

- NOTE:**
1. STRUCTURE MUST BE LEVEL TO ENSURE EVEN WATER DISTRIBUTION.
 2. APPLY 'ANTI-SEIZE LUBRICANT' TO ALL STAINLESS STEEL FASTENERS PRIOR TO ASSEMBLY.
 3. NOMINAL TORQUE 65 FT. LBS.
 4. USE LOC-TITE ONLY WHERE/WHEN SPECIFIED.



TYPICAL ACRYLIC INSTALLATION OF STRUCTURES ABOVE 5 FEET WITH ONE TAB WELDED

*NOTE: USE PROVIDED NON TOXIC ADHESIVE TO ATTACH THE EPDM GASKET TO THE SST TAB/WASHER DURING INSTALLATION OF ACRYLIC

NO. _____		REVISION _____		DATE _____	
AQUASMART™ PLUMBING & EQUIPMENT 1111 W. 19TH AVE. SUITE 100 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112 WWW.AQUASMART.COM					
JOB TITLE _____		AQUASMART™ PACKAGE E		DATE _____	
SHEET TITLE _____		SPLASH PAD		DWG. FILE _____	
SCALE _____		SEE REVIS _____		201102-13	
DRAWN _____		CHECKED _____		8/1/2020	
ACRYLIC MOUNTING INSTALLATION DETAILS					
JOB NO. _____					
201102-13					
13 OF 13					

El Paso County Parks

Agenda Item Summary Form

Agenda Item Title: Urban Park Lands Agreement
GTL, Inc., dba GTL Development
The Sanctuary at Meridian Ranch Filing No. 1

Agenda Date: April 12, 2023

Agenda Item Number: #7 - C

Presenter: Ross Williams, Park Planner
Parks and Community Services Department

Information: **Endorsement:** X

Background Information:

Meridian Ranch is a 2,650-acre mixed-use development located north of the Town of Falcon, between Meridian Road and Eastonville Road. The developer, GTL Inc., dba GTL Development, is in the process of completing the requirements of a Final Plat subdivision application for a portion of northeastern Meridian Ranch: The Sanctuary at Meridian Ranch Filing No. 1 (343 lots).

GTL, Inc. has indicated their intention to construct urban park amenities within the aforementioned filing within the Meridian Ranch development and has requested the waiver of all urban park fees.

Please find attached the proposed Sanctuary at Meridian Ranch Filing No. 1 Urban Park Lands Agreement, which includes providing credit of the following urban park fees:

- The Sanctuary at Meridian Ranch Filing No. 1 - \$99,470

County Parks is proposing to grant GTL, Inc., credit for the urban park fees provided the Property Owner installs urban park and trail improvements of an equal or greater value to that certain parcel identified as Tract E in The Sanctuary at Meridian Ranch Filing No. 1, and which urban park improvements will provide urban recreation opportunities for residents and visitors of Meridian Ranch. The Property Owner estimates the overall cost of the park and trail projects to be approximately \$227,489, therefore meeting and exceeding the value of the Urban Park Fees by an approximated ratio of 2.3 to 1. The urban park improvements are subject to review and acceptance by the County, and all improvements shall be installed in compliance with applicable County regulations, resolutions, and standards. The public urban park will be maintained by the Developer or the Meridian Service Metropolitan District.

Recommended Motion:

_____ move to endorse the approval of the Urban Park Lands Agreement with GTL Inc., dba GTL Development, for The Sanctuary at Meridian Ranch Filing No. 1.

URBAN PARK LANDS AGREEMENT

THE SANCTUARY AT MERIDIAN RANCH FILING NO. 1

THIS URBAN PARK LANDS AGREEMENT ("the Agreement") is made and entered into this ____ day of _____, 2023, by and between GTL, Inc., dba GTL DEVELOPMENT, INC. ("Property Owner") and EL PASO COUNTY, BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS of EL PASO COUNTY COLORADO ("County").

RECITALS

A. Property Owner is the developer of a large parcel of property situated in an unincorporated portion of El Paso County, State of Colorado consisting of approximately 2,650 acres and commonly known and described as Meridian Ranch, which was approved for development by the Board of County Commissioners of El Paso County on March 9, 2000.

B. Property Owner is the owner of and in the process of completing the improvements for a portion of Meridian Ranch platted The Sanctuary Filing No. 1 (the "Property") for development of 343 single-family lots, whose application is anticipated to be considered by the Planning Commission and the Board of County Commissioners in 2023.

C. Pursuant to the requirements of the El Paso County Land Development Code (the "Code"), the El Paso County Community Services Department estimates the Urban Park Fees for The Sanctuary at Meridian Ranch Filing No. 1 to be \$99,470.

D. The County desires to grant the Property Owner \$99,470 in Urban Park Fee Credits, provided that the Property Owner installs urban park improvements (the "Park Improvements") of an equal or greater value to that certain parcel identified as Tract E in The Sanctuary at Meridian Ranch Filing No. 1, and which urban Park Improvements will provide urban recreation opportunities for the residents and visitors of The Sanctuary at Meridian Ranch Filing No. 1, as well as the public and residents living in and around Meridian Ranch.

NOW, THEREFORE, for and in consideration of the mutual promises and covenants hereinafter set forth, as well as the above Recitals, which are a material part hereof, the County and the Property Owner agree as follows:

1. Park Development and Obligations. Property Owner shall satisfy its urban park development requirements and obligations for the Property by installing or causing the installation of urban park amenities and landscaping within that parcel known as The Sanctuary at Meridian Ranch Filing No. 1, Tract E, located immediately south of Rex Road at Retreat Peak Drive. By execution and recordation of this Agreement, the Property is hereby burdened and encumbered by this Agreement.

- a. From and after the date of recordation of the subdivision plat for the Property, the Property Owner shall install or cause to be installed certain urban Park Improvements within the designated tracts.

- b. The value of the contribution of Property Owner towards the urban Park Improvements installed shall be equal to or greater than \$99,470. The Property Owner has estimated the value of the urban Park Improvements to be \$227,489, therefore meeting and exceeding the value of the Urban Park Fees by an approximated ratio of 2.3 to 1.
- c. The Property Owner has provided a detailed site plan and a design and construction cost estimate for the Park Improvements to the County for review, both of which shall be incorporated into this Agreement as if set forth in full, therefore fulfilling one of the requirements of the Park Lands Agreement process.
- d. The Park Improvements shall include but are not limited to The Sanctuary at Meridian Ranch Park and surrounding open spaces, including playground equipment and safety surfacing, picnic tables, benches, sod, trees, shrubs, irrigation, and concrete multi-use trails for use by the public and residents.
- e. The Park Improvements shall be fully completed within two years of the execution of this Agreement. If not completed within two years, the Urban Park Fees in the amount of \$99,470 will be immediately paid to the County by the Property Owner. If the above-mentioned conditions are not satisfied within the two-year period, El Paso County Parks will not consider future applications within Meridian Ranch until such time the improvements have been completed.
- f. Upon completion of the Park Improvements, El Paso County Parks staff will conduct an inspection of the site(s) and send to the Property Owner a Letter of Fulfillment to finalize the conditions of this Park Lands Agreement.
- g. The Park Improvements will remain for public use in perpetuity, consistent with the zoning of the property identified in the approved Sanctuary at Meridian Ranch PUD Development Plan and Preliminary Plan.

2. Maintenance. Unless otherwise mutually agreed by the Property Owner and the County, the urban park improvements will be maintained as shown on the approved site plan as described in Item 1.c. in perpetuity by either the Property Owner or the Meridian Service Metropolitan District (the "District") for the benefit of the public.

3. Installation. The Property Owner, at no cost to the County, shall be responsible to coordinate with the District for the installation of all park improvements pursuant to this Agreement and pay or cause to be paid any necessary tap fees to properly irrigate the park improvements as determined by the District. Any and all park improvements are subject to review and acceptance by the County. All improvements shall be installed in compliance with all applicable County regulations, resolutions, and standards.

4. Successors and Assigns. This Agreement is binding on and inures to the benefit of the heirs, successors, and assigns of the Parties hereto, including any successive owners or

developers of the Property.

IN WITNESS of the foregoing provisions, the Parties have executed this Agreement as of the date first entered above.

**BOARD OF COUNTY COMMISSIONERS
EL PASO COUNTY, COLORADO**

**GTL, INC., dba
GTL DEVELOPMENT, INC.**


By: _____
Chair

By:  _____
Raul Guzman, Vice President

ATTEST:

Clerk & Recorder

APPROVED AS TO FORM:


Steven Klaffky (Mar 22, 2023 13:10 MDT)

County Attorney's Office

**GTL, INC. dba
GTL DEVELOPMENT, INC.**

Fax No. (619) 223-2865
Telephone No. (619) 223-1663

3575 Kenyon Street, Suite 200
San Diego, CA. 92110

Mailing Address
P. O. Box 80036
San Diego, CA 92138

January 17, 2023

Ross Williams – Park Planner
El Paso County Community Services Department
2002 Creek Crossing
Colorado Springs, Colorado 80905

RE: Sanctuary at Meridian Ranch Fil. 1 – Urban Park Fee Credit Request

Dear Mr. Williams:

On behalf of GTL, Inc., I respectfully request that the Community Services Department consider our request to enter into a Parks Land Agreement to grant GTL, Inc. Urban Park Credits in the following amounts:

Sanctuary at Meridian Ranch: 343 lots
\$99,470 Urban Park Fees

GTL, Inc. will install improvements of an equal or greater value through construction of the neighborhood park. Please see the attached exhibit for the park improvements as well as the attached cost estimate. The County prepared Parks Land Agreement will cover the details of granting GTL, Inc. the Urban Park Credits.

Thank you in advance for your consideration in this matter and if you have any questions please do not hesitate to call.

Very truly yours,

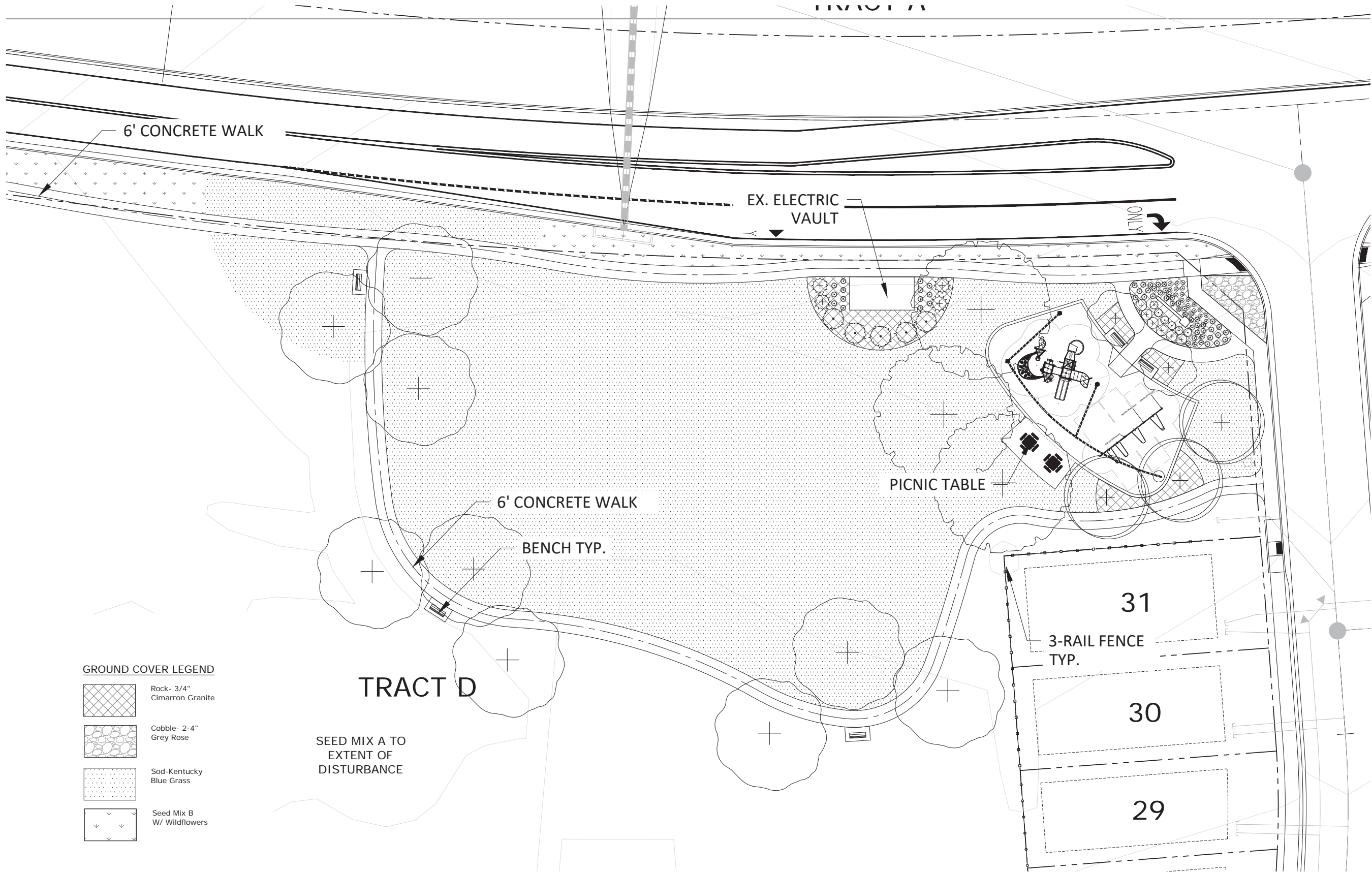
GTL, INC. dba
GTL DEVELOPMENT, INC.


Raul Guzman, Vice President

RG:nl

The Sanctuary Park							
ESTIMATE OF PROBABLE CONSTRUCTION COSTS							
Client: Classic Homes				Unit Price Date: 2022			
Project Name: The Sanctuary Park				Date: 07.22.2022			
Location: Tract X The Sanctuary Filing 1 at Meridian Ranch				Preparer: NES Inc.			
Drawing Reference: The Sanctuary PUD LS							
	Total Amount	Unit	Material Per Unit	Material Cost	Labor Per Unit	Labor Cost	Total Cost
Rock							
2-4" Cobble	926	SF	\$ 2.15	\$ 1,991	\$ 1.25	\$ 1,158	\$ 3,148
				\$ 1,991		\$ 1,158	\$ 3,148
Mulch							
Fibar Mulch (playground surface)	2730	SF	\$ 2.65	\$ 7,235		\$ -	\$ 7,235
				\$ 7,235		\$ -	\$ 7,235
Edging							
Galvanized	120	LF	\$ 0.95	\$ 114	\$ 1.50	\$ 180	\$ 294
Concrete Play Edge	210	LF	\$ 25.00	\$ 5,250	\$ 1.50	\$ 315	\$ 5,565
				\$ 5,250		\$ 315	\$ 5,565
Ground							
Rough Grading	50100	SF		\$ -	\$ 0.06	\$ 3,006	\$ 3,006
				\$ -		\$ 3,006	\$ 3,006
Turf							
Sod w/ soil prep	32520	SF	\$ 0.85	\$ 27,642	\$ 0.30	\$ 9,756	\$ 37,398
Seed w/ compost	15456	SF	\$ 0.25	\$ 3,864	\$ 0.15	\$ 2,318	\$ 6,182
				\$ 31,506		\$ 12,074	\$ 43,580
Plants							
Perennials (one gallon)	22	EA.	\$ 17.00	\$ 374	\$ 5.50	\$ 121	\$ 495
Shrubs (five gallon)	25	EA.	\$ 55.00	\$ 1,375	\$ 11.00	\$ 275	\$ 1,650
				\$ 1,749		\$ 396	\$ 2,145
Trees							
2.0" Deciduous	20	EA.	\$ 600.00	\$ 12,000	\$ 83.00	\$ 1,660	\$ 13,660
				\$ 12,000		\$ 1,660	\$ 13,660
Irrigation							
Drip Irrigation/Shrub Beds	926	SF.	\$ 1.75	\$ 1,621			\$ 1,621
Spray/Rotor Irrigation	3520	SF.	\$ 1.00	\$ 3,520			\$ 3,520
				\$ 5,141			\$ 5,141
Surfacing							
Standard Concrete	532	SF	\$ 7.75	\$ 4,123			\$ 4,123
				\$ 4,123		\$ -	\$ 4,123
Trails							
Concrete Walks 4" deep	3154	SF	\$ 7.00	\$ 22,078			\$ 22,078
				\$ 22,078			\$ 22,078
Playground							
Swing Set	1	EA.	\$ 8,000.00	\$ 8,000			\$ 8,000
Play Structure	1	EA.	\$ 43,376.00	\$ 43,376			\$ 43,376
Shipping & Install	1	EA.	\$ 17,760.00	\$ 17,760			\$ 17,760
Under Drain	1	EA.	\$ 10,000.00	\$ 10,000			\$ 10,000
				\$ 79,136			\$ 79,136
Landscape Amenities							
Tables w/ Seating	2	EA.	\$ 1,500.00	\$ 3,000			\$ 3,000
Benches (with back)	5	EA.	\$ 800.00	\$ 4,000			\$ 4,000
Pet Waste Station	1	EA.	\$ 400.00	\$ 400			\$ 400
Waste Receptacles	1	EA.	\$ 800.00	\$ 800			\$ 800
Recycling Receptacle	1	EA.	\$ 800.00	\$ 800			\$ 800
				\$ 9,000			\$ 9,000
				Total Material	\$ 179,208	Total Labor	\$ 18,609
				Subtotal		\$ 197,817	
				15% Contingency		\$ 29,673	
				Total Estimated Cost		\$ 227,489	
				Park Cost / SF		64,196	\$ 3.54

P:\CTL\Meridian Ranch\Drawings\Planning\Sanctuary Drawings\Landscapes\The Sanctuary PUD LS.dwg [Pmk: kmh1] 4/25/2022 7:30:04 AM Brien



GROUND COVER LEGEND

- Rock- 3/4" Cimarron Granite
- Cobble- 2-4" Grey Rose
- Sod-Kentucky Blue Grass
- Seed Mix B W/ Wildflowers



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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THE SANCTUARY
AT MERIDIAN
RANCH FILING 1

PUD DEVELOPMENT PLAN
/PRELIMINARY PLAN

DATE: 04.20.2022
PROJECT MGR: J. ROMERO
PREPARED BY: B. ITEN

ENTITLEMENT

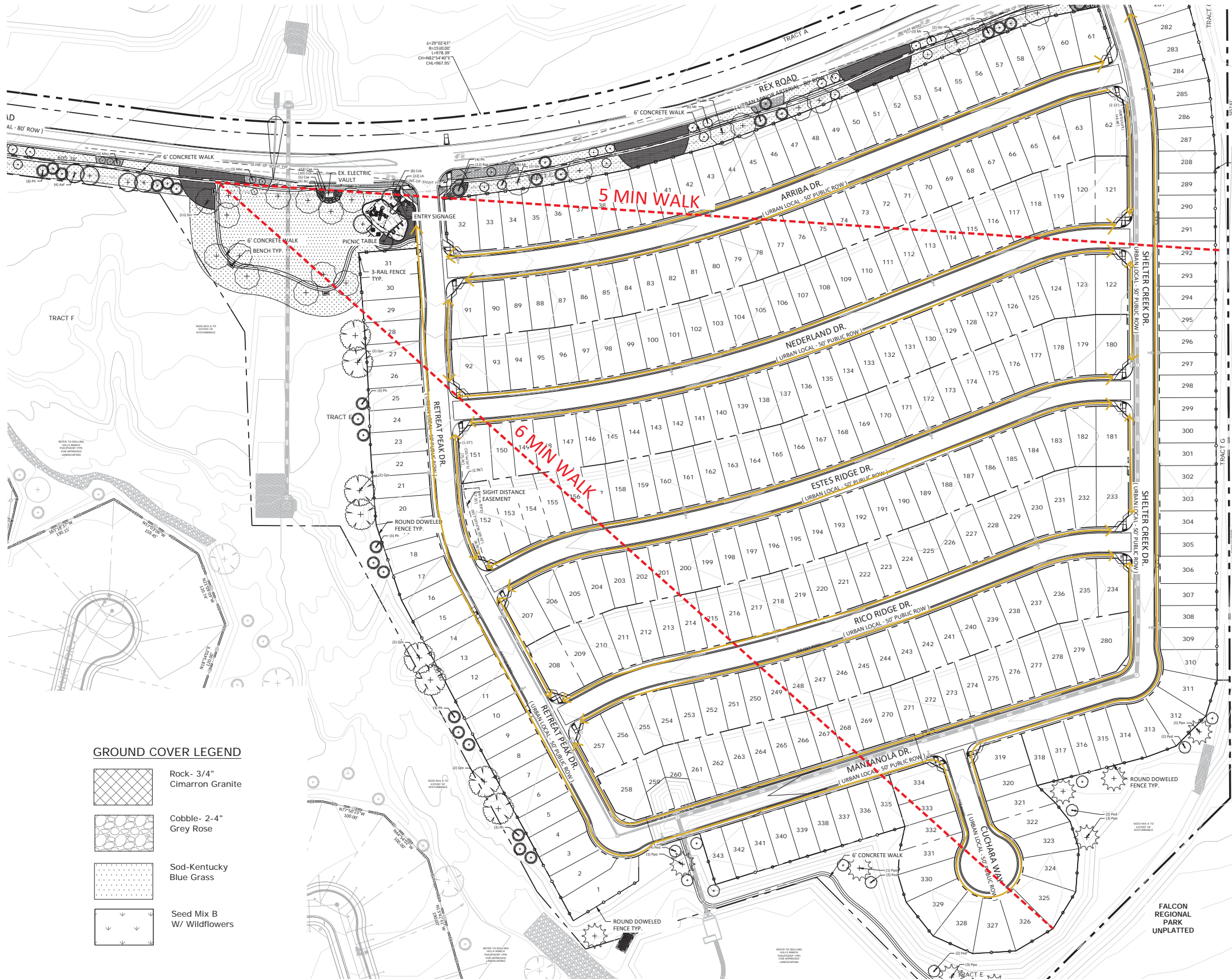
DATE: BY: DESCRIPTION:

PRELIMINARY PARK
EXHIBIT

1

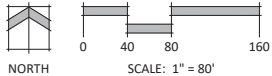
PUD SP

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GROUND COVER LEGEND

- Rock- 3/4" Cimarron Granite
- Cobble- 2-4" Grey Rose
- Sod-Kentucky Blue Grass
- Seed Mix B W/ Wildflowers



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THE SANCTUARY
AT MERIDIAN
RANCH FILING 1

PUD DEVELOPMENT PLAN
/PRELIMINARY PLAN

DATE: 08/15/2022
PROJECT MGR: A. BARLOW
PREPARED BY: J. SHAGIN

ENTITLEMENT

DATE: BY: DESCRIPTION:

PRELIMINARY PARK
PLAN EXHIBIT

1

7 OF 20

El Paso County Parks

Agenda Item Summary Form

Agenda Item Title: Urban Park Lands Agreement
Sterling Ranch Metropolitan District No. 1
Homestead North at Sterling Ranch Filing No. 1

Agenda Date: April 12, 2023

Agenda Item Number: #7 - D

Presenter: Ross Williams, Park Planner
Parks and Community Services Department

Information: **Endorsement:** X

Background Information:

Sterling Ranch is a 1,444-acre mixed-use development located northeast of the City of Colorado Springs, near the intersections of Vollmer Road, Marksheffel Road, and Briargate Parkway. The developer, SR Land, LLC., and the applicant, Sterling Ranch Metropolitan District No. 1, are in the process of completing the requirements of a Final Plat subdivision application for a portion of Sterling Ranch: Homestead at Sterling Ranch Filing No. 1 (73 lots).

Sterling Ranch Metropolitan District No. 1 has indicated their intention to construct urban park amenities within the aforementioned filing within the overall Sterling Ranch development and has requested the waiver of all urban park fees.

Please find attached the proposed Homestead North at Sterling Ranch Filing No. 1 Urban Park Lands Agreement, which includes providing credit of the following urban park fees:

- Homestead North at Sterling Ranch Filing No. 1 - \$21,170

County Parks is proposing to grant SR Land, LLC., and the Sterling Ranch Metropolitan District No. 1, credit for the urban park fees provided the applicant installs urban park and trail improvements of an equal or greater value to that certain parcel identified as Tract B in Homestead North at Sterling Ranch Filing No. 1, and which urban park improvements will provide urban recreation opportunities for residents and visitors of Sterling Ranch. The Property Owner estimates the overall cost of the park and trail projects to be approximately \$275,482, therefore meeting and exceeding the value of the Urban Park Fees by an approximated ratio of 13 to 1. The urban park improvements are subject to review and acceptance by the County, and all improvements shall be installed in compliance with applicable County regulations, resolutions, and standards. The public urban park will be maintained by Sterling Ranch Metropolitan District No. 1.

Recommended Motion:

_____ move to endorse the approval of the Urban Park Lands Agreement with Sterling Ranch Metropolitan District No. 1 for Homestead North at Sterling Ranch Filing No. 1.

URBAN PARK LANDS AGREEMENT

HOMESTEAD NORTH AT STERLING RANCH FILING NO. 1

THIS URBAN PARK LANDS AGREEMENT ("the Agreement") is made and entered into this ____ day of _____, 2023, by and between STERLING RANCH METROPOLITAN DISTRICT NO. 1 ("Property Owner") and EL PASO COUNTY, BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS of EL PASO COUNTY COLORADO ("County").

RECITALS

A. Property Owner is the developer of a large parcel of property situated in an unincorporated portion of El Paso County, State of Colorado consisting of approximately 1,444 acres and commonly known and described as Sterling Ranch, which was approved for development by the Board of County Commissioners of El Paso County on November 13, 2008.

B. Property Owner is the owner of and in the process of completing the improvements for a portion of Sterling Ranch platted as Homestead North at Sterling Ranch Filing No. 1 (the "Property") for development of 73 single-family lots, whose application is anticipated to be considered by the Planning Commission and the Board of County Commissioners in 2023.

C. Pursuant to the requirements of the El Paso County Land Development Code (the "Code"), the El Paso County Community Services Department estimates the Urban Park Fees for the Homestead North at Sterling Ranch Filing No. 1 to be \$21,170.

D. The County desires to grant the Property Owner \$21,170 in Urban Park Fee Credits, provided that the Property Owner installs urban park improvements (the "Park Improvements") of an equal or greater value to that certain parcel identified as Tract B in Homestead North at Sterling Ranch Filing No. 1 Final Plat, and which urban Park Improvements will provide urban recreation opportunities for the public and residents living in and around Homestead North at Sterling Ranch Filing No. 1.

NOW, THEREFORE, for and in consideration of the mutual promises and covenants hereinafter set forth, as well as the above Recitals, which are a material part hereof, the County and the Property Owner agree as follows:

1. Park Development and Obligations. Property Owner shall satisfy its urban park development requirements and obligations for the Property by installing or causing the installation of urban park amenities and landscaping within that parcel known as Homestead North at Sterling Ranch Filing No. 1 Final Plat, Tract B, located east of the intersection of Texas Jack Drive and Tom Ketchum Drive. By execution and recordation of this Agreement, the Property is hereby burdened and encumbered by this Agreement.

- a. From and after the date of recordation of the subdivision plat for the Property, the Property Owner shall install or cause to be installed certain urban Park Improvements within the designated tracts.

- b. The value of the contribution of Property Owner towards the urban Park Improvements installed shall be equal to or greater than \$21,170. The Property Owner has estimated the value of the urban Park Improvements to be \$275,482, therefore meeting and exceeding the value of the Urban Park Fees by an approximated ratio of 13 to 1.
- c. The Property Owner has provided a detailed site plan and a design and construction cost estimate for the Park Improvements to the County for review, both of which shall be incorporated into this Agreement as if set forth in full, therefore fulfilling one of the requirements of the Park Lands Agreement process.
- d. The Park Improvements shall include but are not limited to Homestead North Filing No. 1 Park, including playground with safety surfacing, picnic pavilion, picnic tables, pet waste station, benches, sod, trees, shrubs, irrigation, and concrete multi-use trails for use by the public and residents.
- e. The Park Improvements shall be fully completed within two years of the execution of this Agreement. If not completed within two years, the Urban Park Fees in the amount of \$21,170 will be immediately paid to the County by Property Owner. If the above-mentioned conditions are not satisfied within the two-year period, El Paso County Parks will not consider future applications within Sterling Ranch until the improvements have been completed or fees have been paid.
- f. Upon completion of the Park Improvements, El Paso County Parks staff will conduct an inspection of the site(s) and send to the Property Owner a Letter of Fulfillment to finalize the conditions of this Park Lands Agreement.
- g. The Park Improvements will remain for public use in perpetuity, consistent with the zoning of the property identified in the approved Sterling Ranch Phase I Preliminary Plan.

2. Maintenance. Unless otherwise mutually agreed by the Property Owner and the County, the Park Improvements will be maintained as shown on the approved site plan as described in Item 1.c. in perpetuity by the Property Owner for the benefit of the public.

3. Installation. The Property Owner, at no cost to the County, shall be responsible for the installation of all Park Improvements pursuant to this Agreement and pay or cause to be paid any necessary tap fees to properly irrigate the Park Improvements. Any and all Park Improvements are subject to review and acceptance by the County. All Park Improvements shall be installed in compliance with all applicable County regulations, resolutions, and standards.

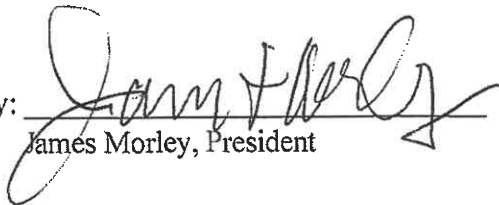
4. Successors and Assigns. This Agreement is binding on and inures to the benefit of the heirs, successors, and assigns of the Parties hereto, including any successive owners or developers of the Property.

IN WITNESS of the foregoing provisions, the Parties have executed this Agreement as of the date first entered above.

**BOARD OF COUNTY COMMISSIONERS
EL PASO COUNTY, COLORADO**

**STERLING RANCH METROPOLITAN
DISTRICT NO. 1**


By: _____
Chair

By: 
James Morley, President

ATTEST:

Clerk & Recorder

APPROVED AS TO FORM:


Steven Klaffky (Mar 22, 2023 13:11 MDT)

County Attorney's Office



STERLING RANCH METROPOLITAN DISTRICTS

October 27, 2022

Ross Williams – Park Planner
El Paso County Community Services Department
2002 Creek Crossing
Colorado Springs, Colorado 80905

RE: Homestead North at Sterling Ranch Fil. 1 – Urban Park Fee Credit Request

Dear Mr. Williams:

On behalf of Sterling Ranch Metropolitan District No. 1, I respectfully request that the Community Services Department consider our request to enter into a Parks Land Agreement to Sterling Ranch Metropolitan District No. 1. Urban Park Credits in the following amounts:

- Homestead North at Sterling Ranch Fil 1: 73 lots
 - o \$21,170 Urban Park Fees

Sterling Ranch Metropolitan District No. 1, will install improvements of an equal or greater value through construction of the neighborhood park. Please see the attached exhibit for the park improvements as well as the attached cost estimate. The County prepared Parks Land Agreement will cover the details of granting Sterling Ranch Metropolitan District No. 1 the Urban Park Credits.

Thank you in advance for your consideration in this matter and if you have any questions please do not hesitate to call.







Thank you,

Sterling Ranch Metropolitan District No. 1

Jim Morley, President

Homestead North at Sterling Ranch Filing 1 Tract B Park							
ESTIMATE OF PROBABLE CONSTRUCTION COSTS							
Client: Classic Homes				Unit Price Date: 2022			
Project Name: Homestead North at Sterling Ranch Filing 1 Tract B Park				Date: 05.11.2022			
Location: Tract B Homestead North at Sterling Ranch Filing 1				Preparer: NES Inc.			
Drawing Reference: SR_Homestead North_Phase 1							
	Total Amount	Unit	Material Per Unit	Material Cost	Labor Per Unit	Labor Cost	Total Cost
Rock							
2-4" Cobble	5720	SF	\$ 2.15	\$ 12,298	\$ 1.25	\$ 7,150	\$ 19,448
				\$ 12,298		\$ 7,150	\$ 19,448
Mulch							
Fibar Mulch (playground surface)	3222	SF	\$ 2.65	\$ 8,538		\$ -	\$ 8,538
				\$ 8,538		\$ -	\$ 8,538
Edging							
Galvanized	407	LF	\$ 0.95	\$ 387	\$ 1.50	\$ 611	\$ 997
				\$ 387		\$ 611	\$ 997
Ground							
Rough Grading	37974	SF		\$ -	\$ 0.06	\$ 2,278	\$ 2,278
				\$ -		\$ 2,278	\$ 2,278
Turf							
Sod	26363	SF	\$ 0.85	\$ 22,409	\$ 0.25	\$ 6,591	\$ 28,999
Sod Amendments	26363	SF	\$ 0.05	\$ 1,318	\$ 0.30	\$ 7,909	\$ 9,227
				\$ 23,727		\$ 14,500	\$ 38,226
Plants							
Ornamental Grass (one gallon)	36	EA.	\$ 17.00	\$ 612	\$ 5.50	\$ 198	\$ 810
Shrubs (five gallon)	3	EA.	\$ 55.00	\$ 165	\$ 11.00	\$ 33	\$ 198
				\$ 777		\$ 231	\$ 1,008
Trees							
2.0" Deciduous	19	EA.	\$ 600.00	\$ 11,400	\$ 83.00	\$ 1,577	\$ 12,977
6' Evergreen	9	EA.	\$ 505.00	\$ 4,545	\$ 91.00	\$ 819	\$ 5,364
				\$ 15,945		\$ 2,396	\$ 18,341
Irrigation							
Drip Irrigation/Shrub Beds	5720	SF.	\$ 1.75	\$ 10,010			\$ 10,010
Spray/Rotor Irrigation	26363	SF.	\$ 1.00	\$ 26,363			\$ 26,363
				\$ 36,373			\$ 36,373
Surfacing							
Standard Concrete	60	SF	\$ 7.75	\$ 465			\$ 465
				\$ 465		\$ -	\$ 465
Trails							
Concrete Walks 4" deep	3050	SF	\$ 7.00	\$ 21,350			\$ 21,350
				\$ 21,350			\$ 21,350
Playground							
Swing Set	1	EA.	\$ 5,100.00	\$ 5,100	\$ 1,020.00		\$ 5,100
Play Structure	1	EA.	\$ 37,000.00	\$ 37,000	\$ 7,400.00		\$ 37,000
See Saw	1	EA.	\$ 3,000.00	\$ 3,000	\$ 600.00		\$ 3,000
Under Drain	1	EA.	\$ 10,000.00	\$ 10,000			\$ 10,000
				\$ 55,100		\$ 9,020	\$ 55,100
Landscape Amenities							
Pavilion	1	EA.	\$ 30,000.00	\$ 30,000			\$ 30,000
Tables w/ Seating	2	EA.	\$ 1,500.00	\$ 3,000			\$ 3,000
Benches (with back)	3	EA.	\$ 808.00	\$ 2,424			\$ 2,424
Pet Waste Station	1	EA.	\$ 400.00	\$ 400			\$ 400
Waste Receptacles	1	EA.	\$ 800.00	\$ 800			\$ 800
Recycling Receptacle	1	EA.	\$ 800.00	\$ 800			\$ 800
				\$ 37,424			\$ 37,424
				Total Material	\$ 212,384	Total Labor	\$ 36,186
				Subtotal		\$	239,549
				15% Contingency		\$	35,932
				Total Estimated Cost		\$	275,482
				Park Cost / SF		37,974	\$ 7.25

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	XERIC	KEY
	Agr	24	Acer grandidentatum / Bigtooth Maple	30'	30'	2" Cal.	B&B		
	Tco	10	Tilia cordata / Littleleaf Linden	45'	35'	2" Cal.	B&B	NonX	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	XERIC	KEY
	Ped	12	Pinus edulis / Pinon Pine	30'	20'	6" HT	B&B	Xeric	
	Pni	3	Pinus nigra / Austrian Black Pine	60'	40'	8" HT	B&B	NonX	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	XERIC	KEY
	PM	3	Pinus mugo 'Mops' / Mugo Pine	4'	4'	5 GAL	CONT	Xeric	1256D
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	XERIC	KEY
	Cxa	36	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5'	2'	1 GAL	CONT	NonX	



HSN @ SR Filing 1 Tract B Park Exhibit

DATE: 05.16.22

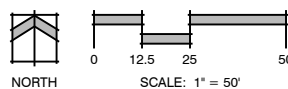
ISSUED FOR:

DRAWN BY: J.SHAGIN

DWG. REF.:

SCALE: 1" = 50'

DWG. #:



N.E.S. Inc.
619 N. Cascade Ave.
Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

El Paso County Parks

Agenda Item Summary Form

Agenda Item Title: Park Lands Agreement Extension
COLA, LLC.
Trails at Aspen Ridge Filings No. 3, 5, 6, 7

Agenda Date: April 12, 2023

Agenda Item Number: #7 - E

Presenter: Ross Williams, Park Planner

Information: **Endorsement:** X

Background Information:

The Trails at Aspen Ridge is a 195-acre mixed-use development located southeast of the City of Colorado Springs, near the intersection of Bradley Road and Powers Boulevard/Highway 21. In fall 2021, COLA, LLC., indicated their intention to construct an approximately \$937,610 centrally located community park within Trails at Aspen Ridge Filing No. 3. COLA requested the waiver of all urban park fees totaling a combined \$132,820 for Filings No. 3, 5, 6, and 7 through the implementation of separate Urban Park Lands Agreements for each filing.

On December 2, 2021, the Board of County Commissioners approved Park Lands Agreements with COLA, LLC., which waived \$130,820 in urban park fees in exchange for the construction a community park and installation of urban park amenities within the aforementioned filing. Under the agreements, all urban park amenities were to be installed and useable by the public within two years after the execution of the Park Lands Agreements. The approved resolutions and recordings are as follows:

- Trails at Aspen Ridge Filing No. 3: Resolution #21-439, Reception #221221730
- Trails at Aspen Ridge Filing No. 5: Resolution #21-440, Reception #221221731
- Trails at Aspen Ridge Filing No. 6: Resolution #21-441, Reception #221221732
- Trails at Aspen Ridge Filing No. 7: Resolution #21-442, Reception #221221733

On February 13, 2023, COLA, LLC., requested an extension for the aforementioned Urban Park Lands Agreements, due primarily to adverse housing market conditions negatively affected by rising interest rates, high inflation, and low consumer confidence. El Paso County Parks reviewed the request, discussed various extension scenarios for each filing, and decided ultimately that a blanket extension would be granted for all four filings, based upon the satisfactory performance of the applicant with a previous Park Lands Agreement for Trails at Aspen Ridge Filing No. 1.

As stated in the attached extension request letter, COLA, LLC., expects all construction at the community park to be completed by August 2025. In September 2025, EPC Parks staff will perform a thorough inspection of the newly completed community park and will issue a Letter of Completion if found to be satisfactory.

This extension request would provide two additional years to complete the construction of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3, with a Park Lands Agreement expiration date of December 2, 2025.

Recommended Motion:

_____ move to endorse the approval of the Park Lands Agreement Extension with COLA, LLC., for Trails at Aspen Ridge Filings No. 3, 5, 6, and 7.



To: Ross Williams – Park Planner

Date: February 13, 2023

Re: Park Land Agreement extension request
Trails at Aspen Ridge – Filings No. 3, 5, 6 & 7

Mr. Williams,

Due to current market conditions, COLA, LLC would like to request the extension of the Park Land Agreements with El Paso County for Trails at Aspen Ridge which are tied to the completion of the park located within Tract F of Filing No. 3. Per the existing agreements, the park is required to be fully completed on 12/02/2023.

The reason for this request is due to the drastic change in the housing market which started when the Federal Reserve started increasing interest rates in March of 2022 which has continued into January 2023. The rates rapidly increased by 4.5 basis points over 11-months to a 15-year high, pricing many buyers out of the market. At the same time, homebuyers are dealing with soaring inflation and concerns of a possible recession adding additional pressure on consumer confidence. Sales at our community came to a screeching halt and many buyers previously under contract were no longer able to qualify for their loans resulting in cancellations.

As a result, we have many more completed homes and finished lots in Filing # 2 than we originally projected. Thus COLA, LLC has paused the land development of Filing # 3 which was originally expected to deliver the finished lots in the spring of 2023 to account for the expected buildout of Filing # 2.

At this time, we would like to request a 2-year extension of the existing agreements to allow for the market conditions to turn more favorable. If granted, this request would put the revised completion of Filing # 3 park no later than 12/02/2025. I have provided a tentative schedule of park completion for your reference below.

Please note that we have completed the park site in Filing # 1 which includes a playground and shade structure, and are expecting the park site in Filing # 2 to be complete by June 2023 which includes a pavilion, picnic tables, and a dog park; providing residents within this community two fully operational parks by this summer.

Proposed Construction Schedule for Park Site in Filing 3 (Tract F):

April 2025	Fine Grading
May 2025	Hardscape installation
June 2025	Irrigation installation
July 2025	Landscape installation
August 2025	Park Features installation
Sept. 2025	Parks Department Inspection

Page 1 of 2

Existing Park Land Agreements:

Filing No. 3 Resolution No. 21-439
Approved by BOCC on 12/02/21
Recorded on 12/03/2021, Reception # 221221730
Amount: \$57,420 in Urban Park Credits

Filing No. 5 Resolution No. 21-440
Approved by BOCC on 12/02/21
Recorded on 12/03/2021, Reception # 221221731
Amount: \$15,660 in Urban Park Credits

Filing No. 6 Resolution No. 21-441
Approved by BOCC on 12/02/21
Recorded on 12/03/2021, Reception # 221221732
Amount: \$23,780 in Urban Park Credits

Filing No. 7 Resolution No. 21-442
Approved by BOCC on 12/02/21
Recorded on 12/03/2021, Reception # 221221733
Amount: \$35,960 in Urban Park Credits

Thank you for considering our extension request. We are fully committed to completing our obligation of building this park and providing this amazing amenity to our community. Please contact me if you have any question or need any additional information.

Sincerely,



Tim Buschar
Director of Entitlements
COLA, LLC
(719) 382-2976
tbuschar@asperviewhomes.net

RESOLUTION NO _____

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF EL PASO, STATE OF COLORADO**

**RESOLUTION TO APPROVE A PARK LANDS AGREEMENT EXTENSION
BETWEEN COLA, LLC., AND EL PASO COUNTY
FOR TRAILS AT ASPEN RIDGE FILING NO. 3**

WHEREAS, a Park Lands Agreement was executed between COLA, LLC., (“Property Owner”), and El Paso County (“County”) for construction of an urban community park within Trails at Aspen Ridge Filing No. 3 as approved on December 2, 2021, pursuant to by Resolution 21-439, recorded at Reception No. 221221730; and

WHEREAS, pursuant to the requirements of the El Paso County Land Development Code (the “Code”), the El Paso County Community Services Department estimates the 2021 Urban Park Fees for Trails at Aspen Ridge Filing No. 3 to be \$57,420; and the Property Owner desires to construct a community park and related amenities on the property in exchange for the waiver of Urban Park Fees; and

WHEREAS, pursuant to the requirements of the executed Park Lands Agreement, the Property Owner will provide park designs and construction costs to the County for review and approval prior to the installation of urban park amenities within Trails at Aspen Ridge Filing No. 3; and the Property Owner will install such park amenities fully and completely within two years after the execution of this agreement; and if not completed within two years the Urban Park Fees in the amount of \$57,420 will be immediately paid to the County; and

WHEREAS, COLA, LLC., recently requested a two-year extension to the Park Lands Agreement in which to construct and complete the community park, due primarily to adverse housing market conditions negatively affected by rising interest rates, high inflation, and low consumer confidence; and

WHEREAS, the County Parks staff reviewed the request and agreed to a two (2) year extension under the Agreement to allow additional time for construction of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3 by December 2, 2025; and

WHEREAS, the Property Owner will notify the County upon completion of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3, at which time County Parks staff will perform a thorough inspection of the newly completed community park and will issue a Letter of Completion if found to be satisfactory; and

WHEREAS, the El Paso County Park Advisory Board unanimously endorsed the Park Lands Agreement Extension at their meeting on April 12, 2023; and

WHEREAS, the El Paso County Board of County Commissioners has reviewed and supports the Park Lands Agreement Extension.

NOW, THEREFORE, BE IT RESOLVED, the Board of County Commissioners of El Paso County, Colorado hereby approves the Park Lands Agreement Extension and authorizes the Chair to execute all required documents.

DONE THIS XXth DAY OF April, 2023 at Colorado Springs, Colorado.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
OF EL PASO COUNTY, COLORADO**

By: _____
County Clerk and Recorder

By: _____
Cami Bremer, Chair

RESOLUTION NO _____

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF EL PASO, STATE OF COLORADO**

**RESOLUTION TO APPROVE A PARK LANDS AGREEMENT EXTENSION
BETWEEN COLA, LLC., AND EL PASO COUNTY
FOR TRAILS AT ASPEN RIDGE FILING NO. 5**

WHEREAS, a Park Lands Agreement was executed between COLA, LLC., (“Property Owner”), and El Paso County (“County”) for construction of an urban community park within Trails at Aspen Ridge Filing No. 3 as approved on December 2, 2021, pursuant to by Resolution 21-440, recorded at Reception No. 221221731; and

WHEREAS, pursuant to the requirements of the El Paso County Land Development Code (the “Code”), the El Paso County Community Services Department estimates the 2021 Urban Park Fees for Trails at Aspen Ridge Filing No. 5 to be \$15,660; and the Property Owner desires to construct a community park and related amenities on the property in exchange for the waiver of Urban Park Fees; and

WHEREAS, pursuant to the requirements of the executed Park Lands Agreement, the Property Owner will provide park designs and construction costs to the County for review and approval prior to the installation of urban park amenities within Trails at Aspen Ridge Filing No. 3; and the Property Owner will install such park amenities fully and completely within two years after the execution of this agreement; and if not completed within two years the Urban Park Fees in the amount of \$15,660 will be immediately paid to the County; and

WHEREAS, COLA, LLC., recently requested a two-year extension to the Park Lands Agreement in which to construct and complete the community park, due primarily to adverse housing market conditions negatively affected by rising interest rates, high inflation, and low consumer confidence; and

WHEREAS, the County Parks staff reviewed the request and agreed to a two (2) year extension under the Agreement to allow additional time for construction of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3 by December 2, 2025; and

WHEREAS, the Property Owner will notify the County upon completion of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3, at which time County Parks staff will perform a thorough inspection of the newly completed community park and will issue a Letter of Completion if found to be satisfactory; and

WHEREAS, the El Paso County Park Advisory Board unanimously endorsed the Park Lands Agreement Extension at their meeting on April 12, 2023; and

WHEREAS, the El Paso County Board of County Commissioners has reviewed and supports the Park Lands Agreement Extension.

NOW, THEREFORE, BE IT RESOLVED, the Board of County Commissioners of El Paso County, Colorado hereby approves the Park Lands Agreement Extension and authorizes the Chair to execute all required documents.

DONE THIS XXth DAY OF April, 2023 at Colorado Springs, Colorado.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
OF EL PASO COUNTY, COLORADO**

By: _____
County Clerk and Recorder

By: _____
Cami Bremer, Chair

RESOLUTION NO _____

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF EL PASO, STATE OF COLORADO**

**RESOLUTION TO APPROVE A PARK LANDS AGREEMENT EXTENSION
BETWEEN COLA, LLC., AND EL PASO COUNTY
FOR TRAILS AT ASPEN RIDGE FILING NO. 6**

WHEREAS, a Park Lands Agreement was executed between COLA, LLC., (“Property Owner”), and El Paso County (“County”) for construction of an urban community park within Trails at Aspen Ridge Filing No. 3 as approved on December 2, 2021, pursuant to by Resolution 21-441, recorded at Reception No. 221221732; and

WHEREAS, pursuant to the requirements of the El Paso County Land Development Code (the “Code”), the El Paso County Community Services Department estimates the 2021 Urban Park Fees for Trails at Aspen Ridge Filing No. 6 to be \$23,780; and the Property Owner desires to construct a community park and related amenities on the property in exchange for the waiver of Urban Park Fees; and

WHEREAS, pursuant to the requirements of the executed Park Lands Agreement, the Property Owner will provide park designs and construction costs to the County for review and approval prior to the installation of urban park amenities within Trails at Aspen Ridge Filing No. 3; and the Property Owner will install such park amenities fully and completely within two years after the execution of this agreement; and if not completed within two years the Urban Park Fees in the amount of \$23,780 will be immediately paid to the County; and

WHEREAS, COLA, LLC., recently requested a two-year extension to the Park Lands Agreement in which to construct and complete the community park, due primarily to adverse housing market conditions negatively affected by rising interest rates, high inflation, and low consumer confidence; and

WHEREAS, the County Parks staff reviewed the request and agreed to a two (2) year extension under the Agreement to allow additional time for construction of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3 by December 2, 2025; and

WHEREAS, the Property Owner will notify the County upon completion of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3, at which time County Parks staff will perform a thorough inspection of the newly completed community park and will issue a Letter of Completion if found to be satisfactory; and

WHEREAS, the El Paso County Park Advisory Board unanimously endorsed the Park Lands Agreement Extension at their meeting on April 12, 2023; and

WHEREAS, the El Paso County Board of County Commissioners has reviewed and supports the Park Lands Agreement Extension.

NOW, THEREFORE, BE IT RESOLVED, the Board of County Commissioners of El Paso County, Colorado hereby approves the Park Lands Agreement Extension and authorizes the Chair to execute all required documents.

DONE THIS XXth DAY OF April, 2023 at Colorado Springs, Colorado.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
OF EL PASO COUNTY, COLORADO**

By: _____
County Clerk and Recorder

By: _____
Cami Bremer, Chair

RESOLUTION NO _____

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF EL PASO, STATE OF COLORADO**

**RESOLUTION TO APPROVE A PARK LANDS AGREEMENT EXTENSION
BETWEEN COLA, LLC., AND EL PASO COUNTY
FOR TRAILS AT ASPEN RIDGE FILING NO. 7**

WHEREAS, a Park Lands Agreement was executed between COLA, LLC., (“Property Owner”), and El Paso County (“County”) for construction of an urban community park within Trails at Aspen Ridge Filing No. 3 as approved on December 2, 2021, pursuant to by Resolution 21-442, recorded at Reception No. 221221733; and

WHEREAS, pursuant to the requirements of the El Paso County Land Development Code (the “Code”), the El Paso County Community Services Department estimates the 2021 Urban Park Fees for Trails at Aspen Ridge Filing No. 7 to be \$35,960; and the Property Owner desires to construct a community park and related amenities on the property in exchange for the waiver of Urban Park Fees; and

WHEREAS, pursuant to the requirements of the executed Park Lands Agreement, the Property Owner will provide park designs and construction costs to the County for review and approval prior to the installation of urban park amenities within Trails at Aspen Ridge Filing No. 3; and the Property Owner will install such park amenities fully and completely within two years after the execution of this agreement; and if not completed within two years the Urban Park Fees in the amount of \$35,960 will be immediately paid to the County; and

WHEREAS, COLA, LLC., recently requested a two-year extension to the Park Lands Agreement in which to construct and complete the community park, due primarily to adverse housing market conditions negatively affected by rising interest rates, high inflation, and low consumer confidence; and

WHEREAS, the County Parks staff reviewed the request and agreed to a two (2) year extension under the Agreement to allow additional time for construction of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3 by December 2, 2025; and

WHEREAS, the Property Owner will notify the County upon completion of the community park and installation of urban park amenities within Trails at Aspen Ridge Filing No. 3, at which time County Parks staff will perform a thorough inspection of the newly completed community park and will issue a Letter of Completion if found to be satisfactory; and

WHEREAS, the El Paso County Park Advisory Board unanimously endorsed the Park Lands Agreement Extension at their meeting on April 12, 2023; and

WHEREAS, the El Paso County Board of County Commissioners has reviewed and supports the Park Lands Agreement Extension.

NOW, THEREFORE, BE IT RESOLVED, the Board of County Commissioners of El Paso County, Colorado hereby approves the Park Lands Agreement Extension and authorizes the Chair to execute all required documents.

DONE THIS XXth DAY OF April, 2023 at Colorado Springs, Colorado.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
OF EL PASO COUNTY, COLORADO**

By: _____
County Clerk and Recorder

By: _____
Cami Bremer, Chair

TRAILS AT ASPEN RIDGE
Filing 3 Park: Parks Land Agreement
September 15, 2021

Owner/ Applicant: COLA LLC
555 Middle Creek Parkway, Suite 380
Colorado Springs, CO 80921

The Trails at Aspen Ridge Filing 3 Final Plat is a continuation of the Trails at Aspen Ridge project proposing 198 single family lots. As part of the Filing 3 Final Plat application, this filing includes a 3.0 acre community park. The community park will be designed and constructed to serve all the residents of the Trails at Aspen Ranch development.

The owner, COLA LLC, would like to request consideration of a Parks Lands Agreement in conjunction with El Paso County for credit towards the Urban Park Fees in the amount of \$57,420.00 for the 198 proposed single family detached units within Filing 3 (\$290 x 198= \$57,420) as well as \$75,400.00 the 260 future single family detached units within Filings 5-7 (\$290 x 260= \$75,400). The total amount of urban park credits being requested is **\$132,820.00**. As illustrated on the drawings provided to Park's staff for the community park, this area is centrally located within the development and will serve the entire community. The park will include a large multi-age playground, shade structures, a bike track, picnic tables, benches, turf areas, sidewalk connections, and landscape plantings. The estimated cost of construction for this community park is approximately **\$937,610** which far exceeds the Urban Park Fees that would be required at time of building permit. The community park will be owned and maintained by the Waterview II Metropolitan District.

As part of the park lands agreement for this filing, COLA LLC is requesting that all future filings within the Trails at Aspen Ranch be able to utilize, as necessary, the larger community park construction for urban park land credits towards platting fees on the remaining lots. While it is anticipated that all future filings will be able to add additional amenities for the Trails at Aspen Ridge that qualify for urban park credits, there may be a situation where that is not possible due to phasing or size of the filing. The attached graphic depicts the park areas planned to date with 1/8 mile and 1/4 radius circles, illustrating that nearly all the Trails at Aspen Ridge is within 1/4 mile of a park amenity. The graphic also indicates areas of future open space or park areas. The lone exception is the area in the far southwest corner; however, internal trail and sidewalk connections will be provided for connectivity. As part of the approved PUDSP for the Trails at Aspen Ridge, internal trail and sidewalk connections will be provided throughout. The final location and design of these trail corridors will be completed with each detailed filing design.

Sincerely,

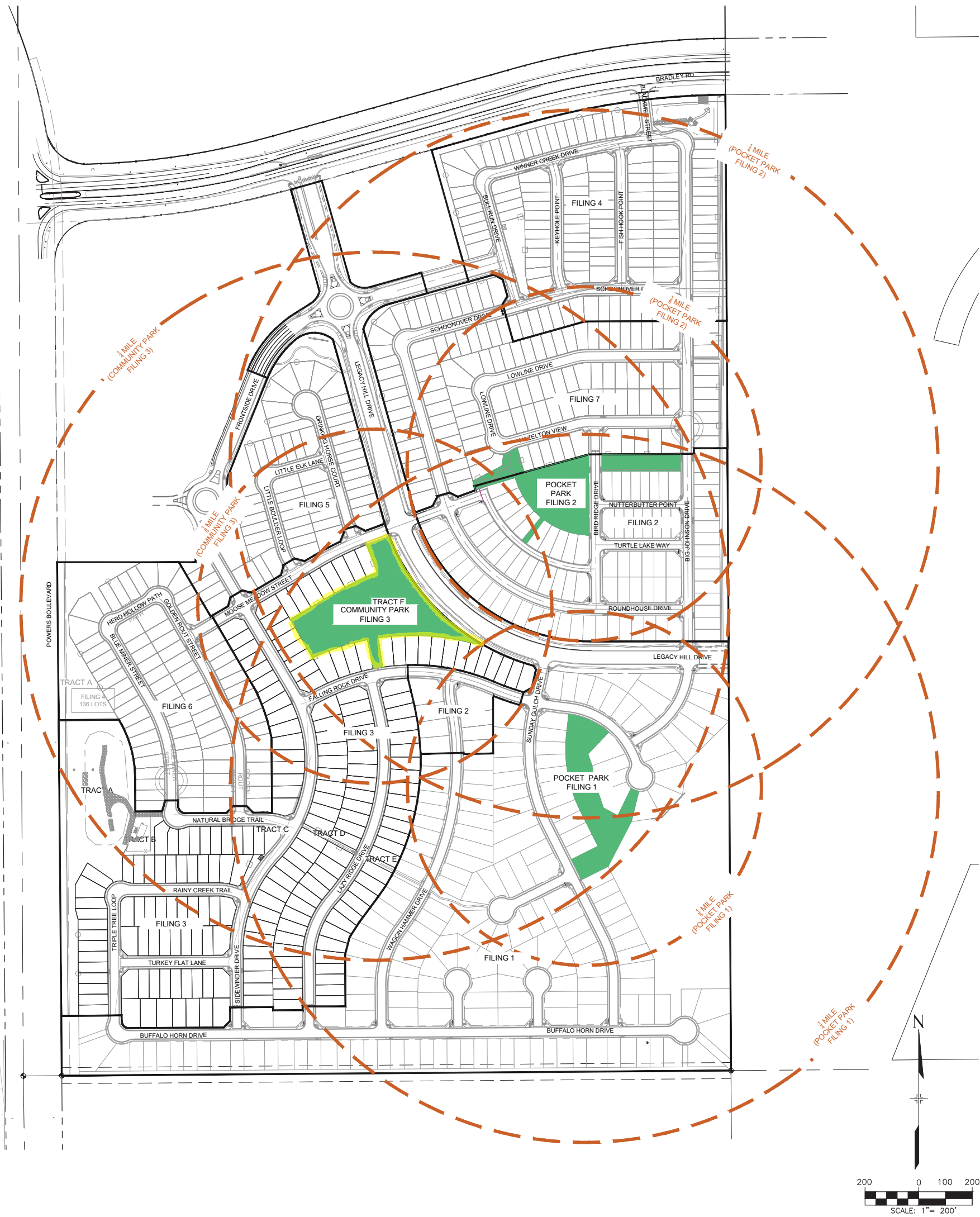
Tim Buschar
Director of Land Acquisition and Site Development

Trails at Aspen Ridge - Filing 3 Community Park

September 15, 2021

Opinion of Probable Construction Cost

Item	Description	Quantity	Unit	Unit price	Total Price
1	Shade Structure	2	EA \$	20,000.00	\$ 40,000
2	Play Equipment	1	LS \$	220,000.00	\$ 220,000
3	Concrete Plaza	1,000	SF \$	4.50	\$ 4,500
4	Colored Concrete	2,100	SF \$	7.00	\$ 14,700
5	6' Concrete Walk	1,200	LF \$	7.20	\$ 8,640
6	8' Concrete Walk	550	LF \$	9.60	\$ 5,280
7	Site Furniture - Bench (Madison)	3	EA \$	1,200.00	\$ 3,600
8	Site Furniture - Bench (Ralley)	3	EA \$	675.00	\$ 2,025
9	Site Furniture - Picnic Table - ADA	2	EA \$	1,295.00	\$ 2,590
10	Site Furniture - Picnic Table	2	EA \$	1,010.00	\$ 2,020
11	Site Furniture - Trash/Recycling Receptacle (Ralley)	6	EA \$	535.00	\$ 3,210
12	Site Furniture - Dog Waste Disposal Station	3	EA \$	250.00	\$ 750
13	Deciduous Trees, 2.5" cal.	32	EA \$	400.00	\$ 12,800
14	Evergreen Trees, 6' ht.	77	EA \$	400.00	\$ 30,800
15	Ornamental Trees, 1.5" cal.	27	EA \$	325.00	\$ 8,775
16	Shrubs, 5 gal.	273	EA \$	50.00	\$ 13,650
17	Ornamental Grass, 5 gal.	200	EA \$	40.00	\$ 8,000
18	Playground Surface	7,800	SF \$	19.00	\$ 148,200
19	Turfgrass Sod	43,800	SF \$	0.50	\$ 21,900
20	Native Seed Mix A	54,500	SF \$	0.60	\$ 32,700
21	Native Seed Mix B	2,000	SF \$	0.60	\$ 1,200
22	Fine Grade / Soil Prep	114,500	SF \$	0.50	\$ 57,250
23	Weed Barrier Fabric	6,400	SF \$	0.25	\$ 1,600
24	Cobble B, 1 1/2" desert sand river, 4" depth	6,400.00	SF \$	0.97	\$ 6,187
25	Pea Gravel	560.00	SF \$	0.72	\$ 401
26	Steel Edger	530	LF \$	3.00	\$ 1,590
27	Irrigation	106,700	SF \$	1.75	\$ 186,725
28	Siloam Boulders (approx 1 tons ea.)	58	EA \$	185.00	\$ 10,730
29	Siloam Seat Boulders (approx 2 tons ea.)	5	EA \$	510.00	\$ 2,550
Subtotal Landscaping				\$	852,373
Construction Cost Contingency				10.0% \$	85,237
GRAND TOTAL				\$	937,610



TRAILS AT ASPEN RIDGE



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Contact: Jason Alwine
Phone (719) 575-0100 | Fax (719) 575-0208
S:\20 886.028 Trails PUDSP Major Amend\100 Dwg\105 Exhibits
Park Land Location Exhibit

PARK LOCATION MAP

SEPTEMBER 2021

TRAILS AT ASPEN RIDGE FILING NO. 3

EL PASO COUNTY, COLORADO

COMMUNITY PARK CONSTRUCTION DOCUMENTS



VICINITY MAP

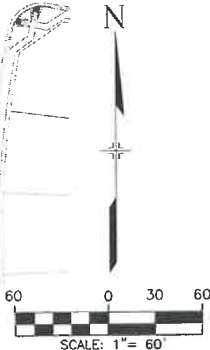


SITE MAP

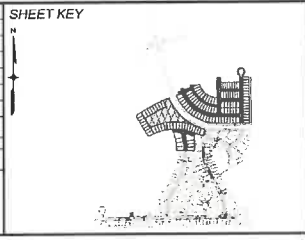


SHEET INDEX

CR01	COVER
SP01	SITE PLAN
SP02	PLAYGROUND PLAN
HZ01	HORIZONTAL CONTROL PLAN
DG01	OVERALL DETAILED GRADING PLAN
DG02	DETAILED GRADING PLAN
DG03	DETAILED GRADING PLAN
LS01	LANDSCAPE PLAN
LS02	LANDSCAPE NOTES
LS03	LANDSCAPE DETAILS
LS04-LS05	SITE DETAILS
LS06	PLAYGROUND DETAILS



REFERENCE DRAWINGS			
No.	DATE	DESCRIPTION	BY
COMPUTER FILE MANAGEMENT			
FILE NAME: S:\20.886.028 (Trails F3)\100 Dwg\104 Plan Sets\Construction Plans\Landscape\SP01- TAR - FLP - F3 Community Park.dwg			
CTB FILE: Matrix(black).ctb			
PLOT DATE: August 12, 2021 8:15:26 AM			
THIS DRAWING IS CURRENT AS OF PLOT DATE AND MAY BE SUBJECT TO CHANGE.			



BENCHMARK
COLORADO SPRINGS UTILITIES (FIMS) MONUMENT F206
A BERTSEN TOP SECURITY MONUMENT SYSTEM WITH A 3.5-INCH DIAMETER ALUMINUM CAP IN A ROAD BOX, LOCATED ON THE NORTHWEST CORNER OF FONTAINE BOULEVARD AND POWERS BOULEVARD.
ELEVATION - 5897.89' U.S. SURVEY FT

BASIS OF BEARING
BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. SAID LINE BEARS S89°51'23"E FROM THE NORTHWEST CORNER OF SAID SECTION 9 (2 1/2' AULM. CAP PLS 17664) TO THE N 1/4 CORNER OF SAID SECTION 9 (3 1/2' AULM. CAP PLS 10377)

PREPARED BY:

Matrix

Excellence by Design

TRAILS AT ASPEN RIDGE					
FILING NO. 3 COMMUNITY PARK					
COVER					
DESIGNED BY: ---		SCALE: ---		DATE ISSUED: JULY 2021	
DRAWN BY: ---		HORIZ. N/A		SHEET 1 OF 13	
CHECKED BY: ---		VERT. N/A		DRAWING No. CR01	

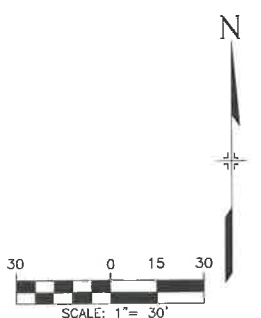
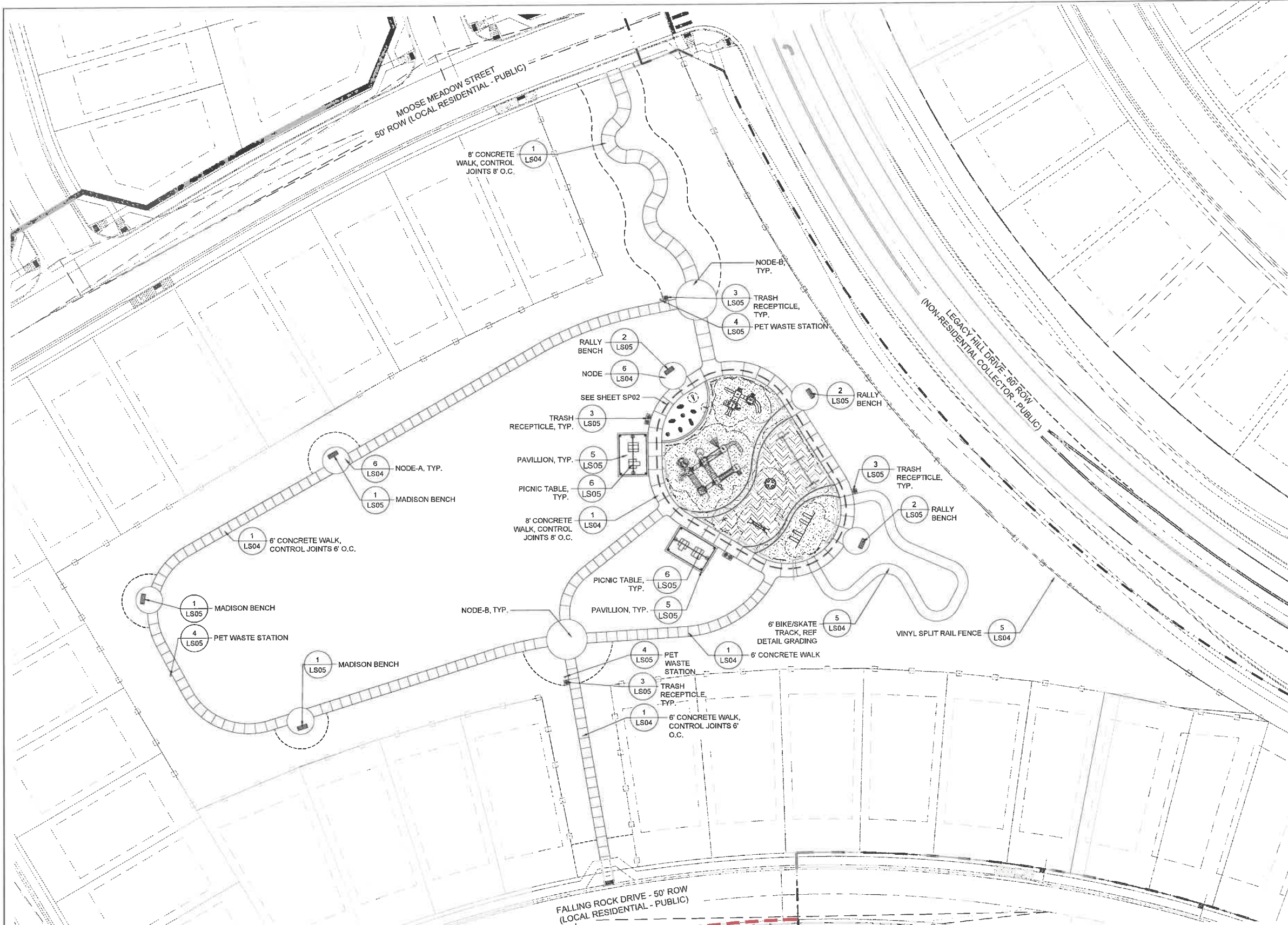
PRELIMINARY

THIS DRAWING HAS NOT BEEN APPROVED BY GOVERNING AGENCIES AND IS SUBJECT TO CHANGE

FOR AND ON BEHALF OF
MATRIX DESIGN GROUP, INC.
PROJECT No. 20.886.028



Know what's below.
Call before you dig.



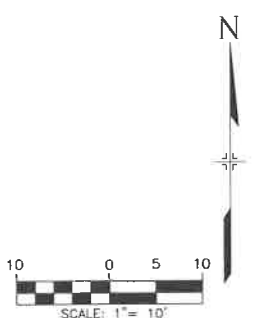
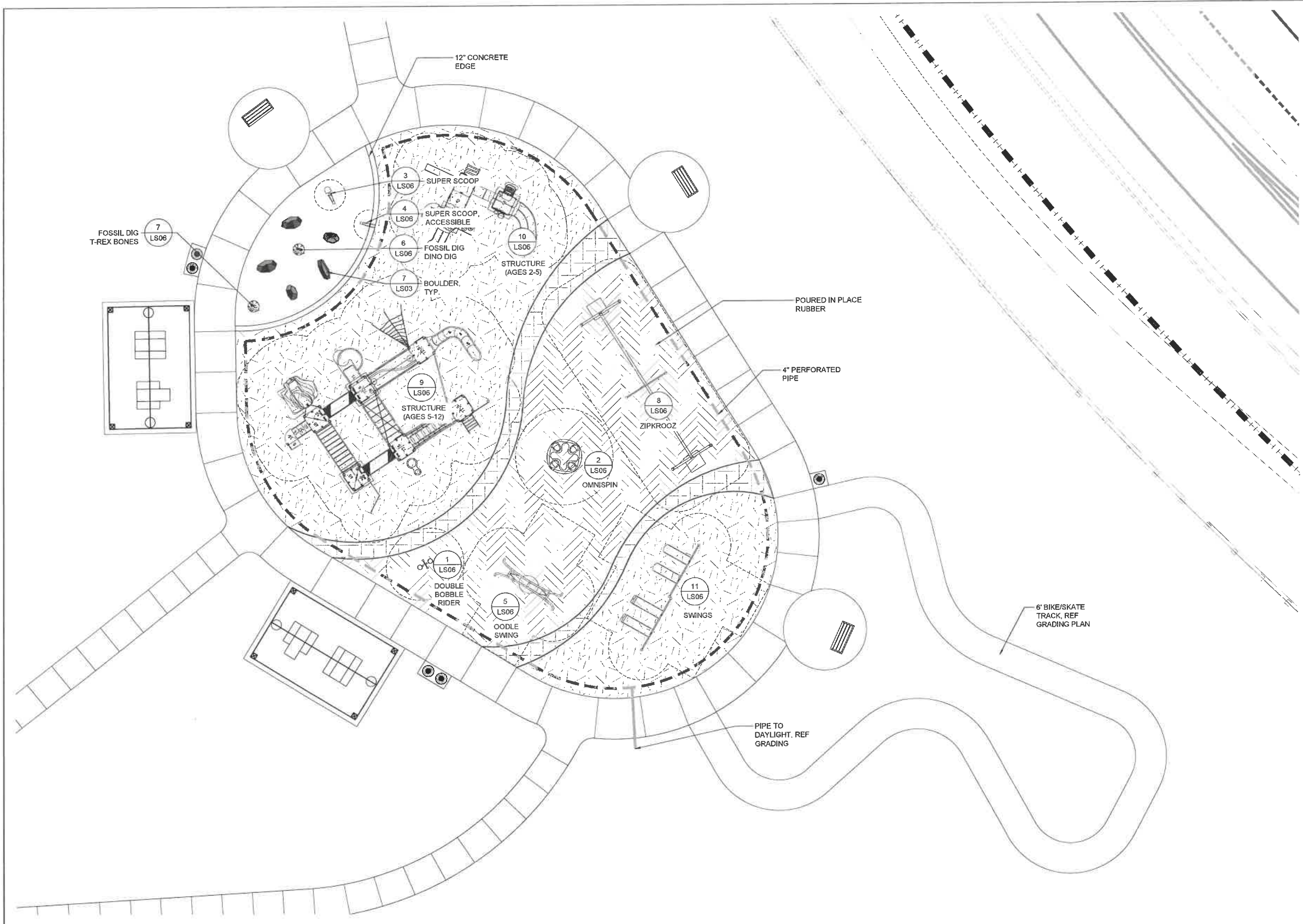
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Know what's below.
Call before you dig.

LEGEND

- PLAYGROUND POUR IN PLACE RUBBER (A)
POLYSTAR, BRIGHT GREEN
- PLAYGROUND POUR IN PLACE RUBBER (B)
POLYSTAR, EGGSHELL
- PLAYGROUND POUR IN PLACE RUBBER (C)
POLYSTAR, MID BROWN



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Know what's below.
Call before you dig.

LEGEND



SOD
3-WAY FESCUE/BUEGRASS
-INSTALLED PER DETAIL
-SUBMIT FOR REVIEW AND
APPROVAL PRIOR TO INSTALL



NATIVE SEED A
PAWNEE BUTTE LOW GROW NATIVE
MIX
-ARIZONA FESCUE, SANDBERG
BLUEGRASS, ROCKY MOUNTAIN
FESCUE, BIG BLUE GRASS
-SEED RATE: PER SEED SUPPLIES
RECOMMENDATION



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-SIDE OATS GRAMA, WESTERN
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BIG BLUESTEM, BLUE GRAMA,
BOTTLEBRUSH, GREEN
NEEDLEGRASS,
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RECOMMENDATION



1 1/2" ROCK
BLUE GREY RIVER ROCK FROM C&
CSAND, OR APPROVED EQUAL



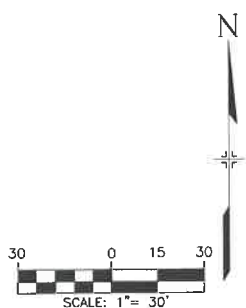
P&A GRAVEL
3/8" BROWN



BOULDERS
DENVER GRANITE (OR
APPROVED EQUAL)
-MINIMUM 2', ALL DIMENSIONS
-MAXIMUM 5', ALL DIMENSIONS
-SUBMIT FOR APPROVAL PRIOR
TO INSTALL



EDGING
4" ROLLED TOP STEEL EDGING
(OR APPROVED EQUAL)



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Know what's below.
Call before you dig.



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: DOUBLE BOBBLE RIDER
MODEL #: 164075
COLOR: LEAF
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

1 DOUBLE BOBBLE RIDER
NTS MS-TAR-25



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: OMNISPIN
COLOR: LEAF
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

2 OMNISPIN
NTS MS-TAR-26



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: SUPER SCOOP
COLOR: ACORN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

3 SUPER SCOOP
NTS MS-TAR-27



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: SUPER SCOOP, ACCESSIBLE
COLOR: ACORN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

4 SUPER SCOOP, ACCESSIBLE
NTS MS-TAR-28



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: OODLE SWING
COLOR: LEAF, BROWN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

5 OODLE SWING
NTS MS-TAR-29



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: FOSSIL DIGS DINO EGGS
COLOR: TAN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

6 FOSSIL DIG DINO DIG
NTS MS-TAR-30



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: FOSSIL DIGS T-REX BONES
COLOR: TAN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

7 FOSSIL DIG T-REX BONES
NTS MS-TAR-31



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: ZIPKROOZ EN
COLOR: LEAF, BROWN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

8 ZIPKROOZ
NTS MS-TAR-32



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: PLAYBOOSTER 77351-1-4
COLOR: -
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

9 STRUCTURE (AGES 5-12)
NTS MS-TAR-34



MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: PLAYSHAPER 7731-1-4
COLOR: -
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

10 STRUCTURE (AGES 2-5)
NTS MS-TAR-35

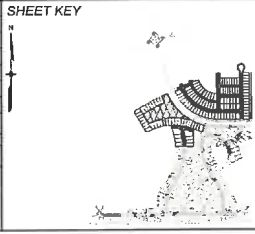


MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: 177332+ SINGLE POST SWING W/ 2 BELT AND 2 BUCKET SEATS
COLOR: LEAF, BROWN
WEBSITE: WWW.PLAYLSI.COM
PHONE: 888-438-6574

NOTES:
1. PLAYGROUND EQUIPMENT TO BE INSTALLED PER MANUFACTURES SPECIFICATIONS

11 SWINGS
NTS MS-TAR-33

REFERENCE DRAWINGS			
No.	DATE	DESCRIPTION	BY
COMPUTER FILE MANAGEMENT			
FILE NAME: S:\20,886,028 (Trails F3)\100 Dwg\104 Plan Sets\Construction Plans\Landscape\LS01-TAR - F3 Community Park.dwg			
CTB FILE: Matrix(black).ctb			
PLOT DATE: August 12, 2021 8:18:58 AM			
THIS DRAWING IS CURRENT AS OF PLOT DATE AND MAY BE SUBJECT TO CHANGE.			



BENCHMARK
COLORADO SPRINGS UTILITIES (FIMS) MONUMENT F206
A BERNTSEN TOP SECURITY MONUMENT SYSTEM WITH A 3.5-INCH DIAMETER ALUMINUM CAP IN A ROAD BOX, LOCATED ON THE NORTHWEST CORNER OF FONTAINE BOULEVARD AND POWERS BOULEVARD, ELEVATION - 5897.89' U.S. SURVEY FT

BASIS OF BEARING
BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. SAID LINE BEARS S89°S1°23'E FROM THE NORTHWEST CORNER OF SAID SECTION 9 (2 1/2" AULM. CAP PLS 17664) TO THE N 1/4 CORNER OF SAID SECTION 9 (3 1/4" AULM. CAP PLS 10377)

PREPARED BY:
Matrix
Excellence by Design

SEAL			
PRELIMINARY THIS DRAWING HAS NOT BEEN APPROVED BY GOVERNING AGENCIES AND IS SUBJECT TO CHANGE			
FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC. PROJECT No. 20,886,028			
DESIGNED BY: SC	SCALE: N/A	DATE ISSUED: JULY 2021	DRAWING No. LS06
DRAWN BY: SC	HORIZ. N/A	SHEET 13 OF 13	
CHECKED BY: JA	VERT. N/A		

TRAILS AT ASPEN RIDGE

FILING NO. 3 COMMUNITY PARK

PLAYGROUND DETAILS

**El Paso County Parks
2023 Action Plan**

Recreation / Cultural Services			
	Project Manager	Priority	Status
Fox Run Nature Center Fundraising	Theresa Odello / Dana Nordstrom	High	In Progress
Cubs Corner Updates	Mary Jo Lewis	Low	
Trailability Program Volunteers	Mary Jo Lewis / Jessica Miller	High	Trainings in Progress
Ute Education Kit	Mary Jo Lewis		Completed
Field Trip Rainy Day Programming	Mary Jo Lewis	Low	
Wildlife Observation Blind	Jessica Miller	Low	
Audible Trail Stops	Jessica Miller	Medium	
Art Exhibit	Victoria Dinkel		Completed
Monarch Butterfly Exhibit	Andy Talley	Low	
Paint Mines Field Trip	Ryan Dorough	Low	
County Fair Vendors	Andschana Aljets	High	Working on Vendor Handbook
County Fair Programming	Andschana Aljets	High	In Progress
County Fair Marketing	Andschana Aljets	High	In Progress
Non-Fair Programming	Andschana Aljets	Medium	In Progress
Park Operations Division			
	Project Manager	Priority	Status
Update Park Maintenance Standards	Brian Bobeck	Medium	
New Capital Improvement Program	Brian Bobeck / Jason Meyer	Medium	Planning
Ute Pass Regional Trail	Jason Meyer	Medium	Design
County Fairgrounds Barn Replacement	Brian Bobeck	High	Punchlist & Site
Fox Run Regional Park Improvements (Restroom)	Greg Stachon	High	Bid for Design
Black Forest Regional Park Improvements	Brian Bobeck	High	Construction
Homestead Ranch Regional Park Improvements	Greg Stachon	Medium	Planning
Fountain Creek Regional Park Parking & ADA	Greg Stachon	Low	Design / Funding
Fox Run Nature Center Design	Jason Meyer	High	Design
Widefield Park / Crews Gulch Trail Improvements	Ross Williams	High	Bid for Construction
Pinerias Single-Track Trail Construction	Ross Williams	Low	
Paint Mines Interpretive Park Master Plan	Ross Williams	High	

Community Services Department								
Parks / Recreation & Cultural Services Divisions								
March 2023 Monthly Report								
<u>Facility Revenue Totals To Date</u>		<u>2023</u>				<u>2022</u>	<u>2021</u>	
		<u>Budget</u>	<u>Current</u>	<u>Balance</u>		<u>Totals to Date</u>	<u>Totals to Date</u>	
Parks Facility Reservation Revenue		\$ 180,000	\$ 91,657	\$ 88,343		\$ 53,792	\$ 42,547	
County Fair / Fairgrounds		\$ 301,000	\$ 115,909	\$ 185,091		\$ 106,567	\$ 46,961	
Total		\$ 481,000	\$ 207,566	\$ 273,434		\$ 160,359	\$ 89,508	
<u>Fundraising Revenue</u>		<u>2023</u>	<u>2023</u>			<u>2022</u>	<u>2021</u>	
	<u>Purpose</u>	<u>Goal</u>	<u>Amount</u>	<u>Balance</u>		<u>Totals to Date</u>	<u>Totals to Date</u>	
County Fair Sponsorships	Fair Operations	\$ 80,000	\$ 22,500	\$ 57,500		\$ 35,500	\$ 45,500	
Partners in the Park Program	Park Operations	\$ 45,000	\$ 57,500	\$ (12,500)		\$ 50,000	\$ 28,750	
Trust for County Parks	Park Operations	\$ 10,000	\$ 4,912	\$ 5,088		\$ 19,165	\$ 13,419	
Nature Center Fundraising	Nature Center Support	\$ 25,000	\$ 1,608	\$ 23,392		\$ 3,135	\$ 4,100	
County Fairgrounds Support (Fairgrounds Corp)	Programming/Facility Support	\$ 40,000	\$ 70,000	\$ (30,000)		\$ 40,000	\$ 15,000	
Total		\$ 200,000	\$ 156,520	\$ 43,480		\$ 147,800	\$ 106,769	
<u>Grant / 3rd Party Funding</u>		<u>Awarded</u>						
<u>Parks Division Reservations</u>	<u>2023</u>	<u>2023</u>	<u>2023</u>	<u>2022</u>	<u>2022</u>	<u>2021</u>	<u>2021</u>	
<u>Year to Date</u>	<u>Rentals</u>	<u>Attendance</u>	<u>Evaluation</u>	<u>Rentals</u>	<u>Attendance</u>	<u>Rental</u>	<u>Attendance</u>	
January	11	966	N/A	3	510	3	22	
February	15	778	N/A	5	446	5	233	
March	51	1306	N/A	29	702	4	31	
April								
May								
June								
July								
August								
September								
October								
November								
December								
Total	77	3050		37	1658	12	286	

<u>Parks Facility Reservations</u>		2023	2023	2022	2022	2021	2021	
<u>March</u>		<u>Rentals</u>	<u>Attendance</u>	<u>Rentals</u>	<u>Attendance</u>	<u>Rentals</u>	<u>Attendance</u>	
<u>Bear Creek Regional Park</u>								
Archery Lanes								
Athletic Fields								
Pavilions				1	50			
Trails								
Vendor								
Tennis Courts								
Pickleball Courts								
Vita Course								
Meeting Room		11	91	2	25	1	10	
<u>Black Forest Regional Park</u>								
Athletic Fields								
Pavilions								
Vendor								
Tennis Courts								
<u>Falcon Regional Park</u>								
Baseball Fields		27	825	22	610			
Athletic Field		9	255					
Vendor								
<u>Fountain Creek Regional Park</u>								
Athletic Fields								
Pavilions								
Trails								
Disc Golf Course		1	126					
Vendor								
<u>Fox Run Regional Park</u>								
Athletic Fields								
Gazebo								
Warming Hut								
Pavilions								
Vendor								
Trails								
<u>Homestead Ranch Regional Park</u>								
Pavilions								
Athletic Fields								
Trails								
<u>Palmer Lake Recreational Area</u>								
Palmer Lake Santa Fe Trail								
<u>New Santa Fe Trail</u>								
Monument Trail Head New Santa Fe Trail								
Baptist Road Santa Fe Trail								
AFA Santa Fe Trail								
Vendor - Santa Fe Trailheads								
<u>Paint Mines Trail</u>		3	9	4	17	3	21	
<u>Rock Island Trail</u>								
<u>Black Forest Section 16</u>								
<u>Rainbow Falls Historic Site</u>								
<u>Pineries Open Space</u>								
Total Park Facility Reservations		51	1306	29	702	4	31	

<u>Fairgrounds Facility Reservations</u>		2023	2023	2023	2022	2022	2021	2021
<u>Year to Date</u>		<u>Rentals</u>	<u>Attendance</u>	<u>Evaluation</u>	<u>Rentals</u>	<u>Attendance</u>	<u>Rentals</u>	<u>Attendance</u>
January		8	173	N/A	7	150	0	0
February		14	735	N/A	19	726	6	178
March		12	1160		13	471	8	459
April								
May								
June								
July								
August								
September								
October								
November								
December								
Total		34	2,068	N/A	39	1,347	14	637
<u>Fairgrounds Facility Reservations</u>		2023	2023	2022	2022			
<u>March</u>		<u>Rentals</u>	<u>Attendance</u>	<u>Rentals</u>	<u>Attendance</u>			
<u>Swink Hall - Fairgrounds</u>								
Lions Club Meeting		1	30	1	30			
Wedding				1	80			
Fair Corp Meeting		1	10	1	6			
Calhan Posse Mtg		1	20	1	20			
4-H Club Meeting		1	20	1	20			
Fair Advisory Board Meeting				1	20			
Hitch N' Post 4H Meeting		1	20					
Jr. Livestock Sale Committee		1	25	2	35			
FAB Meeting		0	0					
<u>Grand Stands Building</u>								
<u>Track</u>								
<u>Barns</u>								
<u>Livestock Arena</u>								
4-H Cattle Project		1	50	1	100			
Dog Show		1	400	1	50			
Blow and Go Beef Show		1	200	1	60			
Mounted Training		1	10					
<u>Whittemore - Fairgrounds</u>								
Quinceanera		1	300					
Rabbit Show		1	75					
United Methodist Rummage Sale				2	50			
<u>Arena</u>								
Month Total Fair Facility Reservations		12	1,160	13	471			

<u>Vandalism Report</u>								
<u>Incident</u>	<u>Date</u>	<u>Location</u>	<u>Area</u>	<u>Cost</u>				
Graffiti removal	1/26/2023	Widefield, Southmoore, Crew Gulch	South	\$200				
Homeless camp clean-up / illegal dumping	1/26/2023	Willow Springs, Maxwell Street	South	TBD				
Graffiti removal (Fountain tunnel, playground)	2/3/2023	Widefield	South	\$75				
Homeless camp clean-up	2/6/2023	Hanson Bridge	South	\$50				
Illegal Dumping	2/6/2023	Crew Gulch	South	\$50				
Graffiti removal (Main park sign)	2/7/2023	John Ceresa	South	\$50				
Homeless camp clean-up / illegal dumping	2/7/2023, 2/10/2023	Christian Open Space	South	\$700				
Homeless camp clean-up / illegal dumping	2/13/2023	Academy blvd trail crossing	South	\$100				
Homeless camp clean-up / illegal dumping	2/14/2023	Maxwell trailhead	South	\$50				
Homeless camp clean-up / illegal dumping	2/14/2023	South of mule train	South	\$50				
Homeless camp clean-up / illegal dumping	2/17/2023	South of Hanson trailhead	South	\$50				
Maintenance shop: damaged lock and chain	2/20/2023	Fox Run Regional Park	North	\$100				
Illegal Dumping	3/1/2023	Nature Center parking lot	South	\$50				
Graffiti removal (Flight memorial, pavilion, floor & wall)	3/2/2023	Widefield Community Park	South	\$200				
Illegal Dumping (Tree limbs, yard debris)	3/16/2023	Strtamoore Valley	South	\$50				
Graffiti removal (Exterior of restroom)	3/20/2023	Widefield Community Park	South	\$200				
			Total	\$1,975				
<u>Volunteerism</u>		2023		2022		2021		
Total for Year	Goal	Volunteers	Total Hours	Volunteers	Total Hours	Volunteers	Total Hours	
January		138	728	180	609	106	372	
February		292	1,302	60	327	100	468	
March		229	932	118	682	159	713	
April								
May								
June								
July								
August								
September								
October								
November								
December								
Totals		659	2,962	358	1,618	365	1,553	
		2023						
March		Volunteers	Total Hours					
Park Advisory Board		9	35					
Fair Advisory Board		20	95					
Fairgrounds Corporation		5	10					
Fair and Events Center		4	19					
Friends of the Nature Centers		39	388					
Adopt-A-Park / Trail / Volunteer Projects		152	385					
Total		229	932					

Programming		2023	2023	2023	2022	2022	2021	2021
Totals for Year		Programs	Attendance	Evaluation	Programs	Attendance	Programs	Attendance
January		45	1152	4.99	29	452	25	218
February		43	2032	4.95	37	952	27	230
March		89	2376	4.99	48	986	50	753
April								
May								
June								
July								
August								
September								
October								
November								
December								
Totals	800 / 21,000	177	5560	4.98	114	2390	102	1201
		2023	2023	2023				
March	Facility	Programs	Attendance	Evaluation				
Discover Bear Creek	BCNC	1	11	5.00				
Habitat	BCNC	6	79	5.00				
Foothills Field Experience	BCNC	4	52	5.00				
In-Class: UTE	BCNC	2	50	5.00				
Drop In Group- Overture	BCNC	2	23					
Drop In Group- Foundations for Successful Living	BCNC	1	7					
Drop In Group- Special Kids, Special Families	BCNC	2	20					
Birthday Party: Big Bears	BCNC	2	51					
Bear Den Rental: Baby Shower	BCNC	1	50					
Volunteer Trainings	BCNC	2	12					
Organic Vegetable Gardening for Success Workshop	BCNC	1	40					
Training: Engagement Strategies	BCNC	1	6					
City/County Parks Board Meeting	BCNC	1	40					
Pikes Peak Beekeeping School	BCNC	2	56					
Forest Bathing Walk	BCNC	1	5					
Nature Explorers: Towhee Tap Dance	BCNC	2	50	5.00				
Little Wonders: Dear Deer	BCNC	2	38	5.00				
Spring Break Camp: Ute Knowledge & STEM	BCNC	5	150	4.90				
Walk the Wetlands	FCNC	13	199	4.98				
Discover the Wetlands	FCNC	3	28	5.00				
Nature Adventures: X Marks the Spot	FCNC	1	42	5.00				
Outreach: Scout Day at the Rocky Mountain Dinosaur Re	FCNC	1	200					
Volunteer Trainings: EE & Trailability	FCNC	2	6					
2's & 3's Outdoors: Snow Science	FCNC	2	51	5.00				
Building for the Birds	FCNC	1	25	5.00				
Sandstone Program	FCNC	1	18					
Adult Bird Club : Classroom	FCNC	1	15	5.00				
Adult Bird Club : Field Trip	FCNC	1	15	5.00				
Kids Outdoor Survival Skills Series (1)	FCNC	1	17	4.90				
Program Room Rental	FCNC	3	63					
Springing Back to Life	FCNC	1	18	5.00				
Kids Outdoor Survival Skills Series (2)	FCNC	1	10					
Girl Scout Badge Program: Brownies & Daisies	FCNC	1	12	5.00				
Group Visit: Adult Care	FCNC	5	47					
Volunteer Recognition	FCNC	1	65					
Boots in the Park	FEC	1	130					
Cornhole League	FEC	5	325					
Calhan Cheer	FEC	4	120					
FCCLA Cornhole Tournament	FEC	1	200					
Fair Queen Contest	FEC	1	30					
TOTALS		89	2376	4.99				

Visitor Contacts <i>(does not include programs)</i>	Bear Creek Nature Center	Fountain Creek Nature Center	Paint Mines Interpretive Park	Rainbow Falls Historic Site				
January	662	731	0	0				
February	811	809	0	0				
March	917	1187	0	0				
April								
May								
June								
July								
August								
September								
October								
November								
December								
Totals	2390	2727	0	0				

PARKS & COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ ENVIRONMENTAL SERVICES ~ RECREATION/CULTURAL SERVICES ~ CSU EXTENSION

**ADMINISTRATIVE SERVICES
MONTHLY REPORT**

SABINE CARTER, ADMINISTRATIVE SERVICES COORDINATOR
DEBRA REID, ADMINISTRATIVE SUPERVISOR

March 2023

General Updates:

1. Facility rentals have generated \$91,657 which is 45% of our \$180,000 annual revenue goal.

Special Events:

1. High Plains Little League started baseball/softball practices and tournaments at Falcon Regional Park. Grand Opening of the season will be held in April 15 with many festivities to including a mini food truck round-up.
2. Disc golf tournaments have also started this month at the Widefield Community Park. 14 tournaments are already permitted and booked for 2023.
3. 76 special event applications have been received and are in the permitting process. The events range from fundraiser runs, ultra running events, a cycling event, disc golf tournaments, many youth day camps, soccer tournaments (youth and adults), rugby, Lacrosse, orienteering events, dog frisbee and more.
4. Commercial and night photography permits have also increased in March with 6 permits being approved so far this year.

PARKS & COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ ENVIRONMENTAL SERVICES ~ RECREATION/CULTURAL SERVICES ~ CSU EXTENSION

COMMUNITY OUTREACH

Monthly Report – March 2023

Dana Nordstrom, Community Outreach Coordinator

Community Outreach

CSU Extension will be facilitating the Duckwood Community Garden in Fountain Creek Regional Park. The Friends of Bear Creek Dog Park and Subaru hosted our annual April Stools Day with over 60 volunteers.

Partners in the Park:

We are currently seeking partners for Homestead Regional Park, Black Forest Regional Park, Falcon Regional Park, Fountain Creek Regional Park, and Widefield Community Park.

Please forward any suggestions to DanaNordstrom@elpasoco.com

El Paso County Fair:

We have surpassed our financial goal and sponsors have committed \$89,500 towards the County Fair this year. Please mark your calendars for the VIP Luncheon at noon, on opening day, Saturday, July 15 at the Fair and Events Center. **“A Summer to Remember”, July 15-22.**

Fox Run Nature Center:

Staff is working together to schedule our pop up events, project design, stakeholder meetings and fundraising outreach.

Great American Clean Up:

Our community wide clean up is schedule for Saturday, April 15. County Parks Staff is hosting four clean up sites. For more information please visit <https://www.fountain-crk.org/great-american-cleanup/>



PARKS & COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ ENVIRONMENTAL SERVICES ~ RECREATION/CULTURAL SERVICES ~ CSU EXTENSION

Recreation & Cultural Services Division

Monthly Report – March 2023

Submitted by Theresa Odello, Recreation & Cultural Services Division Manager

Programs & Special Events:

- Fountain Creek Nature Center's annual **Building for the Birds** was a hammering success with a full house and many soon-to-be-full birdhouses. Guests of all ages learned about birds they may see in their own neighborhoods, which birds like to live in tree cavities, and the careful and cute nesting process that happens in a bird house. Afterwards the builders put together their own nest boxes that had been prepared by FCNC Interpreter Andy. This year went particularly smooth and everyone's building skills improved – we really nailed it!
- Fountain Creek Nature Center helped twelve Daisies and Brownies earn their '**Bugs**' and '**Numbers in Nature**' badges. After learning a bit about the five different types of arthropods, they completed a matching and sorting activity to demonstrate their new knowledge. Later they went on a hike around the nature loop to find and identify arthropods including: roly-polys, harvester ants, and centipedes!
- Fountain Creek Nature Center hosted thirty-five members of the **Pikes Peak Mycological Society** for a presentation by Tradd Cotter. Tradd shared some of his work with fungus alternatives to chemical insecticides and herbicides, antibiotics derived from fungus, and his work with psychotherapist, Irene Dubin. We look forward to a continued partnership with Pikes Peak Mycological Society as we design a mushroom growing program together for the summer.
- Spring is here which means that gardening season is just around the corner! The Bear Creek Gardening Association sprung into the season with their annual **Organic Gardening Workshop** at Bear Creek Nature Center. Forty individuals attended this popular workshop and learned how to be successful gardeners in this region. Bear Creek Garden Association and Ricks Garden Center sewed seeds of knowledge about starting vegetables indoors, best vegetable varieties, and organic pest control and fertilizers. The Garden Association volunteers their time to lead this workshop, with all proceeds benefitting Friends of El Paso County Nature Centers. We are so grateful to have such knowledgeable and generous community partners!
- Things were buzzing here at Bear Creek on the weekend of March 18 and 19 as the **Pikes Peak Beekeeping Association ran a Bee School** to teach perspective beekeepers the ins and outs of hives and healthy bees. Participants received training in building a hive, keeping it healthy, and even protecting it from bears. Twenty-eight people attended and left on Sunday all abuzz with excitement for becoming beekeepers.
- **Campers** at Bear Creek Nature Center spent their **spring break** in the sunshine! 30 campers studied nature through the eyes of a scientist, learning about the STEM concepts the Ute people use to live and thrive in Colorado. Campers were challenged to provide innovative solutions to the basics of survival such as water, shelter, and food through observation of nature and comparison

to our modern equivalents. In addition, they applied STEAM concepts through self-expression and imagination by creating their own music, stories, art, and games throughout the week. Campers learned, “How the Ute people use bead to decorate clothing and how to make arts and crafts from nature.” as well as, “How to find things in nature and make something out of it, like a house.” One camper said, “[My favorite part of camp was] making so many friends and all the arts and crafts.”

Outreach Events and Other Items:

- Fountain Creek Nature Center brought the wetlands to Woodland Park at the **Rocky Mountain Dinosaur Resource Center’s Scout Day**. Staff and volunteers met boy scouts, girl scouts, and their families to share El Paso County Parks and Nature Centers information and resources. Our station’s visitors got to learn about a modern-day dinosaur, the turkey vulture, by making a cute craft, and learned about local mammals like bobcats, skunks, and foxes by touching their pelts, skulls, tracks, and scat.
- Fair excitement was in the air at the **El Paso County Fair & Events Center** in March. Kicking off our month was the Fair Queen Contest, where through competitive interviews, horsemanship, and public speaking our 2023 El Paso County Fair Queen, Aneka Normandie was chosen. Aneka is a Senior at Peyton High School, an active 4H participant, and an outspoken Fair advocate. We are excited to have her join our team this year. 4-H was on the ground most weekends, weighing animals, working on their showmanship, and getting ready for Fair. Additionally, the Fair & Events Center held its annual Boots in the Park Fundraiser, this year consisting of a casino night, and welcomed our community for a night of fun and fundraising.



Top Row:
Fair & Events Center: Boots in the Park and 2023 Queen
Middle Row:
FCNC: Building for Birds
Bottom Row:
BCNC: Spring Break Camp





Special Events and Program Calendar

April 12 - May 10, 2023

Date	Day of Week	Program	Location	Target Audience	Notes*
April 12	Wednesday	Rock Island Cornhole League	Fair & Events Center	Teens & Adults to Play; All ages are welcome	6pm-10pm, \$10 per person
April 13	Thursday	Into to Wilderness Survival	Bear Creek Nature Center	Teens and Adults	6 -8:30 PM, \$30/person
April 13 & 14	Thursday & Friday	2s & 3s Outdoors: Rabbits Don't Lay Eggs	Fountain Creek Nature Center	Children age 2-3 with an adult	10-11:15am, \$3 per person
April 14	Friday	Outreach: Fountain Buisness Expo	Fountain Valley YMCA	Adults, Public	11am-2pm
April 15	Saturday	Great American Cleanup	BCNC, FCNC, Rock Island Trail Head	Adults	9am-noon
April 15	Saturday	Jr. Bird Club	Fountain Creek Nature Center	Children Ages 8-15	\$10 per child, drop-off
April 15	Saturday	Forest Bathing Walk	Bear Creek Nature Center	Adults	1-3:30pm, \$30 per person
April 15	Saturday	Kids Outdoor Survival Skills Series: Water Filtration	Fountain Creek Nature Center	Children ages 5-10 and their families	1-3pm, \$30 per child per class
April 15	Saturday	Back to Eden Garden Class	Fair & Events Center	All Ages	Two classes; 10am-12pm & 1pm-3pm
April 19	Wednesday	Nature Explorers: Bat-tastic	Bear Creek Nature Center	Ages 4-6 with caregiver	9-10:30am & 1-2:30pm/ \$3 per person
April 19	Wednesday	Rock Island Cornhole League	Fair & Events Center	Teens & Adults to Play; All ages are welcome	6pm-10pm, \$10 per person
April 20	Thursday	Adult Bird Club - Class	Fountain Creek Nature Center	Adults	Class Full
April 21	Friday	Bunco	Fountain Creek Nature Center	13 +	\$8/person, Starts at 5PM
April 21	Friday	Night Sky/Milky Way Photography Workshop	Paint Mines Interpretive park	Adults	9pm, April 21, to 7am, April 22 / \$300 per person
April 22	Saturday	Adult Bird Club - Field Trip	Fountain Creek Nature Center	Adults	Class Full
April 22	Saturday	Children's Mindfulness Series	Fountain Creek Nature Center	Children ages 5-10 and their families	10am-12pm, \$30 per child per class
April 22	Saturday	Kids' Morning Out: Minecraft	Bear Creek Nature Center	Children ages 7-12	9am-1pm/ \$25 per child incudes lunch
April 22	Saturday	Kids Outdoor Survival Skills Series: Backcountry Cooking	Fountain Creek Nature Center	Children ages 5-10 and their families	1-3pm, \$30 per child per class
April 22	Saturday	BST Auto Races	Fair & Events Center	All Ages	\$20 entry; 6pm-10pm
April 26	Wednesday	Little Wonders: Colors of Spring	Bear Creek Nature Center	Children ages 2-3 with caregiver	10-11:15 am & 1-2:15 pm \$3 per person
April 26	Wednesday	Rock Island Cornhole League	Fair & Events Center	Teens & Adults to Play; All ages are welcome	6pm-10pm, \$10 per person
April 27	Thursday	Aiken Audubon: Birding 101 Workshop	Bear Creek Nature Center	Adults	\$10 for 2 programs
April 28	Friday	Homeschool Fridays: Discover Wetlands	Fountain Creek Nature Center	Children in grades 3-6	2-4pm, \$4 per person
April 28	Saturday	Aiken Audubon: Birding 101 Field Trip	Bear Creek Nature Center	Adults	\$10 for 2 programs
April 29	Saturday	Children's Mindfulness Series	Fountain Creek Nature Center	Children ages 5-10 and their families	10am-12pm, \$30 per child per class
April 29	Saturday	Kids Outdoor Survival Skills Series: Maps & Compass	Fountain Creek Nature Center	Children ages 5-10 and their families	1-3pm, \$30 per child per class
May 2	Tuesday	Nature's Classroom: Incredible Insects	Bear Creek Nature Center	Children grades 1-3	1-3pm/ \$4 per person
May 3	Wednesday	Rock Island Cornhole League	Fair & Events Center	Teens & Adults to Play; All ages are welcome	6pm-10pm, \$10 per person
May 4	Thursday	Intro to Navigation and Map Reading	Bear Creek Nature Center	Teens and adults	6 - 8:30 PM
May 4 & 5	Thursday & Friday	Nature Adventures: Feathered Frenzy	Fountain Creek Nature Center	Children ages 3-6 and their families	10-11:30am, \$3 per person
May 6	Saturday	Fountain Creek Family Fun Day	Fountain Creek Nature Center	All!	10am-2pm, \$5 per person, FREE to active military with ID
May 10	Wednesday	Rock Island Cornhole League	Fair & Events Center	Teens & Adults to Play; All ages are welcome	6pm-10pm, \$10 per person

* Nature Center Members may receive an additional discount

PARKS & COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ ENVIRONMENTAL SERVICES ~ RECREATION/CULTURAL SERVICES ~ CSU EXTENSION

**PARK OPERATIONS DIVISION
MONTHLY REPORT
MARCH 2023**

Parks Planning

Capital Project Management / Planning:

Bear Creek Regional Park Pickleball Retaining Wall – The retaining walls directly west of the pickleball courts are dilapidated and need replacement. This project includes demolition of the old timber walls and construction of a new concrete block retaining wall. A new plaza behind the retaining wall will provide an area for observation, seating, and event space. A scope of work was advertised in January 2023 and bids were reviewed in February. A contractor was selected in March with work anticipated to start in April with completion summer 2023.

Black Forest Regional Park Tennis Courts – The two existing tennis courts in Black Forest Regional Park are in the need of replacement due to age, playability, and safety concerns. County Parks has contracted with FieldTurf, LLC (Sourcewell Contract 060518-FTU) to remove the two existing tennis courts and replace with two new post-tension concrete tennis courts. The courts will also be lined for pickleball play. The project began with court demolition September 2022. Due to contractor schedules and winter weather, concrete, fencing and court surfacing will be completed early 2023 once temperatures are favorable.

Crews Gulch Regional Trail Paving – The Crews Gulch Primary Regional Trail runs southwest to northeast from Ceresa Park and the Fountain Creek Regional Trail, northeast through Widefield Community Park, to its terminus at Fontaine Boulevard. While some of the trail is paved through Widefield Community Park, the section south of Quebec Street is currently gravel surfaced. The 2017 Widefield Community Park Master Plan identified the southern section of the Crews Gulch Trail as a candidate for concrete paving, thus allowing for more robust ADA accessibility through the park. El Paso County Parks was awarded a Community Development Block Grant (CDBG) to complete this project. A solicitation for construction is anticipated in April with completion Summer 2023.

County Fairgrounds Barn Replacement – This project includes the removal and replacement of several small animal barns that are located west of Owens Livestock Arena. The existing, dilapidated wooden barns will be replaced with a new 7,500 square foot barn. The project is on schedule and the anticipated project completion date is Spring 2023.



Fountain Creek Repairs at Duckwood Trailhead– The embankment along Fountain Creek has sustained erosion from repeated high-water events and is now threatening the Fountain Creek Regional Trail and Chilcott Irrigation ditch infrastructure. Planned repairs include installation of riprap armoring, geotextile fabric, and revegetation of the creekbank. Funds have been allocated to launch engineering and design in 2023 with construction planned for winter 2024-25. Potential grant opportunities are being explored to leverage dedicated funds.

Fountain Creek Nature Center Sidewalks– The main sidewalk leading from the parking lot to the main entrance does not meet ADA compliance. Additionally, the current storm drains are not adequately sized to convey stormwater. A design contract with Baseline Engineering was completed in 2022. A separate contract for construction will be advertised with Baseline providing construction support services. County Parks submitted a CDBG grant application in February 2023 for project funding. CDBG funding announcements are expected in July 2023.

Fox Run Nature Center – A request for proposals was issued in June 2022 seeking architectural and site design services for the new nature center located in Fox Run Regional Park. After a review of four submitted proposals, a team led by TDG Architecture was selected. A project kick-off was held in October and preliminary data gathering has begun. The El Paso County Commissioners allocated \$1 million in funding towards the project in November. Several site visits and project team meetings have been held to discuss building location and exhibit design. Public and key stakeholders will be engaged in 2023 to inform design of the building, exhibits, and surrounding site. Design of the nature center is anticipated to be completed by the end of 2023.

Fox Run Regional Park Oak and Pine Meadow Restrooms – This project consists of renovating the Oak and Pine Meadow restrooms from a pit vault composting system to a flush system. The current pit vault composting waste systems will be removed, and a new on-site wastewater treatment system will be installed with new internal plumbing and fixtures. An RFP for design services was issued in January 2023, a contractor has been selected with design work anticipated to begin in April.

Homestead Ranch Regional Park Improvements –This project will implement recommendations from the master plan update which was completed December 2022. It is anticipated that work will include trail upgrades, parking lot and drainage improvements, signage, and forest management tasks. Staff has completed several site visits and is preparing to bid fencing repairs and signage improvements. Final design for trail and drainage improvements are underway with construction anticipated this summer.

Paint Mines Interpretive Park Master Plan – In recent years the number of visitors to the park has increased leading to several management challenges which includes vehicle congestion, user-created social trails, climbing on the formations, and overall site degradation. In response to these challenges, the County completed two projects in 2020 - 2021 aimed at improving the existing parking areas, resurfacing existing trails, completing minor ditch and drainage improvements, and adding fencing and signage to guide park visitors. El Paso County is now looking to create a Master Plan which will build-upon these improvements and provide a long-term plan to manage park visitors while also protecting the fragile formations. Staff is completing document and site review in preparation for a request for proposal to initiate the master plan this summer.

Santa Fe Open Space – The master plan process has been completed with BoCC approval in March 2021. A contract for single-track trail corridor clearing and construction was awarded to Performance Recreation in September 2021. Construction has been completed and the grand opening was held on April 7, 2022. Two custom information kiosks and Partners in the Park signs have been delivered and are due for installation at each entrance of the open space on the New Santa Fe Regional Trail in early Spring 2023.

Ute Pass Regional Trail - El Paso County was previously awarded two federal grants to fund design and construction of the remaining 3.75-mile segment of the Ute Pass Regional Trail. An Intergovernmental Agreement with CDOT was approved by the BoCC in April 2019. A revised scope of work was approved in 2022 to reduce the project to 1.5 miles to end at the intersection of US 24 and Fountain Ave. Stantec Consulting Services was selected to complete engineering and design of the Ute Pass Regional Trail. Permitting and regulatory approvals are ongoing. Review and coordination with several agencies are ongoing. A third grant was awarded to the County in 2022 and other funding options are being pursued. The final design package is scheduled to be completed in 2023. Construction is planned for 2024.

Other:

Development Permit Application Reviews - Staff reviewed 2 development permit application to be presented for endorsement at the April 2023 meeting and provided internal administrative comments for an additional 14 applications during March 2023.

Fountain Creek Watershed, Flood Control and Greenway District - Staff continues to serve on the Technical Advisory Committee. The committee helps develop and implement watershed restoration and enhancement projects. The district has launched the greenway master plan and staff is participating as a stakeholder.

Geographic Information Systems (GIS) - Staff is working with the County Information Technology Department to expand El Paso County Parks' use of GIS for data collection, operational, and planning applications. New regional park maps have been completed or are in process, and new and/or improved datasets have been received.

Grants – El Paso County Parks was awarded a \$145,000 Community Development Block Grant for the paving the Crews Gulch Trail through Widefield Community Park. A notice to proceed was awarded in fall 2022 with procurement scheduled for April 2023. A grant application was submitted to Great Outdoors Colorado in August to fund five weeks of work by the Mile High Youth Corps and Rocky Mountain Field Institute at Pinerias Open Space in 2023. Unfortunately, this grant was not successful.

Interdepartmental Coordination- Staff is representing County Parks and providing technical assistance for several projects to ensure compliance with the El Paso County Parks Master Plan and to support advancement of multi-modal opportunities. This includes the Peyton Drainage and Transportation Master Plan, Eastonville Road design project, South Powers Extension Study, and the Jackson Creek Parkway Corridor Plan.

Park Operation Districts

Central District:

District Properties - Bear Creek Regional Park, Bear Creek Dog Park, Bear Creek Nature Center, Rainbow Falls Historic Site, landscape maintenance at eleven (11) County facilities, Ute Pass Regional Trail, Jones Park Open Space

Monthly Summary – Central staff continued their daily efforts to keep all properties clean and safe throughout the month of March. All facilities and pavilions have been prepped for the upcoming reservation season. Minimal snow events and warmer temperatures have allowed the team more opportunities to focus their attention on various projects within the district.

All eleven new dog bag dispensers have been installed at the Bear Creek Dog Park and the old dispensers have been removed. Modifications to the new dispensers were required by park staff to withstand the heavy daily usage within the park. The information kiosk at the park entrance has been refabricated and reinstalled. This large metal kiosk blew down in a December windstorm and required a multistage effort from the Central team before reinstallation could take place. Welding new sections of metal frame, sanding, painting, applying protective coating at ground level, installation, new plexiglass, and attaching the heavy metal roof were all stages in the process.

Finsterwald Irrigation and Landscaping has started work on the Bear Creek East non-potable irrigation conversion. This project entails disconnecting the current irrigation system from the potable water source, connecting into the non-potable water source, and combining all current irrigation controllers into one centralized location. Park Operations staff will maintain oversight on all processes of this project.

Park staff completed two projects at the Bear Creek Nature Center. The Paula Megorden memorial bench was placed overlooking the nature center's trails. As this location was inaccessible by vehicle, the new bench, site prep tools, landscape timbers, and rock mulch were all hiked in by staff for project completion. The team also completed a trail restoration project for the nature center. This short regional trail connector washed out during a water main break and required staff to bring in multiple yards of material and compaction equipment to complete the restoration.

East District:

District Properties – El Paso County Fair and Events Center, Falcon Regional Park, Falcon Regional Dog Park, Homestead Ranch Regional Park, Paint Mines Interpretive Park, Rock Island Regional Trail, Drake Lake Open Space, Palmer Divide Trail at Wood Lake, Heritage Ranch Open Space, Latigo Trails Open Space, Falcon Vista Open Space, Peyton Pines Open Space, Forest Green Open Space

Monthly Summary – The reservation season is kicking into high gear at the County Fairgrounds. Races begin in April and staff worked to get the buildings ready for spectators. The restrooms in the Livestock Arena Building were charged and deep cleaned in preparation for our first rental in April. Staff also began prepping the Grandstands Building and seating areas. Sponsor signs have been installed, racetrack prepped, and announcers' booths cleaned. Opening race night is scheduled for April 8th.

Warmer weather has allowed our team to begin work on several projects. We have prepped each of the ballfields at Falcon Regional Park for edging of the foul lines and we've started to plan the entrance bed restoration project in the main parking lot. We are hopeful our new PMIII team member will be on once these projects begin.

With the spring season upon us, staff focused on ensuring Homestead Ranch Regional Park was ready for the reservation season. Staff finalized a few minor maintenance projects and dialed in the new chemical feed pump for the public water distribution system. Each of the pavilions have been assessed, new calendar QR codes installed, and began refurbishing the main information kiosk. The park is ready for visitors!

North District:

District Properties - Fox Run Regional Park, Fox Run Regional Trail, Black Forest Regional Park, Black Forest Section 16, Pineries Open Space, Palmer Lake Recreation Area, Santa Fe Open Space, New Santa Fe Regional Trail, Baptist Road Trailhead, Forest Lakes Regional Trail, Cherry Creek Regional Trail

Monthly Summary – The North District accomplished several projects this month. Pine needle clean-up was completed at Fox Run Regional Park. Bathrooms, pavilions, and other reservation locations district-wide have received a good spring cleaning to begin the season. The volleyball sand at the Palmer Lake Recreation Area has been replaced and leveled. The Baptist Trailhead area was mowed, trimmed and all trash was removed from the trail corridor. All vegetation near benches, signs, and shelters along the northern Santa Fe Trail were trimmed. Black Forest Section 16 restroom holding tank was pumped and cleaned for the season. A new gate and signs were installed at the Pineries Open Space that will help direct trail users to the proper trail entrance.

The El Paso County Parks Department was represented at the Pikes Peak Outdoor Recreation Alliance job fair hosted by the Pikes Peak Workforce Center this month. We also conducted a seasonal employee hiring event at the Bear Creek Nature Center. Candidates were able to apply, interview, and receive job offers at the event. The hiring event was very successful.

The Wildland Fire crew continues to make progress with their forest management plans throughout Fox Run Regional Park.

Preparation for the reservation season, public water activation, irrigation system start-up, and snow removal are the top priorities for all the North District properties. Implementing the 5-S organizational standards are still underway. Parks, trails, and facilities continue to be inspected and cleaned daily.

South District:

District Properties - Fountain Creek Regional Park, Fountain Creek Dog Park, Fountain Creek Nature Center, Fountain Creek Regional Trail, Clear Springs Ranch, Christian Open Space, Willow Springs Park, John Ceresa Park, Crews Gulch Trail, Kane Ranch Open Space, Stratmoor Hills Park, Stratmoor Valley Park, Schreder Open Space, Widefield Community Park, Grinnell Boulevard

Monthly Summary – Our team's primary efforts were directed towards clean up and improvements in Widefield Park. We removed graffiti, pruned various tree canopies, pressure-washed and painted sections of the restroom exterior, cleaned and painted the Flight Memorial for the anniversary celebration, and reconstructed two drainage areas to eliminate future damage in the disc golf course.

In preparation for the growing season, our team has been very busy topping off landscape beds with bark mulch, both at the Fountain Creek Nature Center and the Duckwood Demonstration Gardens. Staff is continuing to mulch other areas of the district and to incorporate decorative rock in areas that previously had mulch or no groundcover.

Our team cleaned a storage area located south of our maintenance shop. This area of the park has historically been used for dumping slash debris, leaves, old fencing, wood chips, railroad ties, culverts, and all other unwanted materials that were too cumbersome for the shop's dumpsters. Staff has removed many of these items over the winter and discarded them into dumpsters, while Rocky Top Resources has chipped all slash debris. Staff also organized useful materials and staged them for future projects. Staff continues implementing 5-S standards and has made progress with removing clutter, improving organization, labeling, and inventorying tools and equipment. Our primary focus for cleaning and organization will be the maintenance shop, chemical shed, tool shed, and the material storage yard.